

PRELIMINARY REPORT

2025 Street Improvement Projects (Contracts 25-101, 25-102 and 25-105)

Street Reconstruction, Reclamation, and Rehabilitation and Associated Improvements



Burnsville

I hereby certify that this report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.



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Reg. No. 54744

Date: December 10, 2024

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I. EXECUTIVE SUMMARY

On June 18, 2024, the Burnsville City Council ordered the preparation of a preliminary report for the 2025 Street Improvement Projects (Contracts 25-101, 25-102 and 25-105). These improvements consist of street reconstruction, reclamation, rehabilitation (mill and overlay), and associated watermain, sanitary sewer, and storm sewer improvements.

This preliminary report will:

- describe the Street Improvement Program and associated background information
- describe existing conditions and specific improvements proposed
- provide estimated project costs
- list funding sources and provide special assessment methodology
- recommend improvements to include in the 2025 street improvement contracts

Street reconstruction areas require watermain replacement and upgrades, which includes full-depth pavement replacement and full replacement of curb and gutter. Street reclamation areas include full-depth pavement replacement and partial replacement of curb and gutter where it is damaged or failing. Street rehabilitation areas include resurfacing by mill and overlay and partial replacement of curb and gutter where it is damaged or failing.

During project planning, all project areas are reviewed for necessary and feasible sanitary sewer repairs, storm sewer repairs/upgrades, hydrant repairs/replacements, gate valve bolt replacements (when a full watermain replacement is not considered), utility casting adjustments/upgrades, Americans with Disabilities Act (ADA) conformance, street lighting repairs/upgrades, traffic signal improvements, and complete streets and multi-modal improvements. These additional project area updates are not funded using special assessments.

2025 Street Rehabilitation Project Areas:

- Burnsville Parkway East Area (25-101-B)
- Burnsville Parkway West Area (25-101-F)
- Abbott/Washburn Area (25-105-G)

2025 Street Reclamation Project Areas:

- Carriage Area (25-102-C)
- Rio Loma Area (25-102-D)
- Southwest Burnsville (25-102-E)
- Morgan Area (25-105-A)
- Williams Drive Area (24-105-H)

The following are estimated costs for the proposed improvements:

Improvement Area	Total Estimated Project Cost
Street Reclamation Areas	\$9,475,000
Street Rehabilitation Areas	\$3,514,000
Total	\$12,989,000

Total project costs include construction, engineering, construction management, legal review, fiscal and administration costs, and a contingency.

Funding sources for the street improvement contracts include:

- Infrastructure Trust Fund (ITF)
- Municipal State Aid Street Funding
- LRIP Grant Funding
- Enterprise Funds
 - Sewer and Water Utility Fund
 - Stormwater Utility Fund
 - Street Light Utility Fund
- Special Assessments

Since the 2025 Street Improvement Projects (Contracts 25-101, 25-102 and 25-105) are proposed to be partially funded through special assessments, the City will follow Minnesota Statute 429 processes and procedures to legally comply with special assessment requirements.

II. INTRODUCTION AND BACKGROUND

A. CAPITAL IMPROVEMENT PLAN

Since 1990, the City Council has considered street improvement projects annually. The City implemented a Pavement Management Plan (PMP) to rate the condition of streets so future improvement projects can be planned and to maximize the life of the streets. Included in this report are streets that the PMP has identified for improvement. Other factors, such as condition of the watermain, storm sewer system, sanitary sewer system, and economy of scale are considered when proposing streets for improvement. Final determination of streets proposed for improvements are determined by the Engineering staff, in conjunction with Street Maintenance and Utility Maintenance staff.

B. BACKGROUND DATA

Information and materials used in the preparation of this report include:

- Resident feedback and information sharing
- Street and utility record drawings
- Utility repair records
- Storm and sanitary sewer televising reports
- Field observations
- Utility structure inspection records
- Pedestrian Crosswalk Policy 5.090, dated January 17, 2017
- Complete Streets Policy 5.100, dated October 5, 2021
- Multi-Modal Plan, October 2021
- Geotechnical reports, AET, dated January 19, 2017
- Geotechnical report, WSB, dated November 23, 2024
- Geotechnical reports, WSB, dated April 10, 2024
- Williams Drive Corridor Study, SEH Inc., dated January 19, 2024
- Pavement Evaluation Report, Braun Intertec, dated November 6, 2024

C. PROPOSED 2024 STREET LISTING

2025 Street Rehabilitation Project Areas:

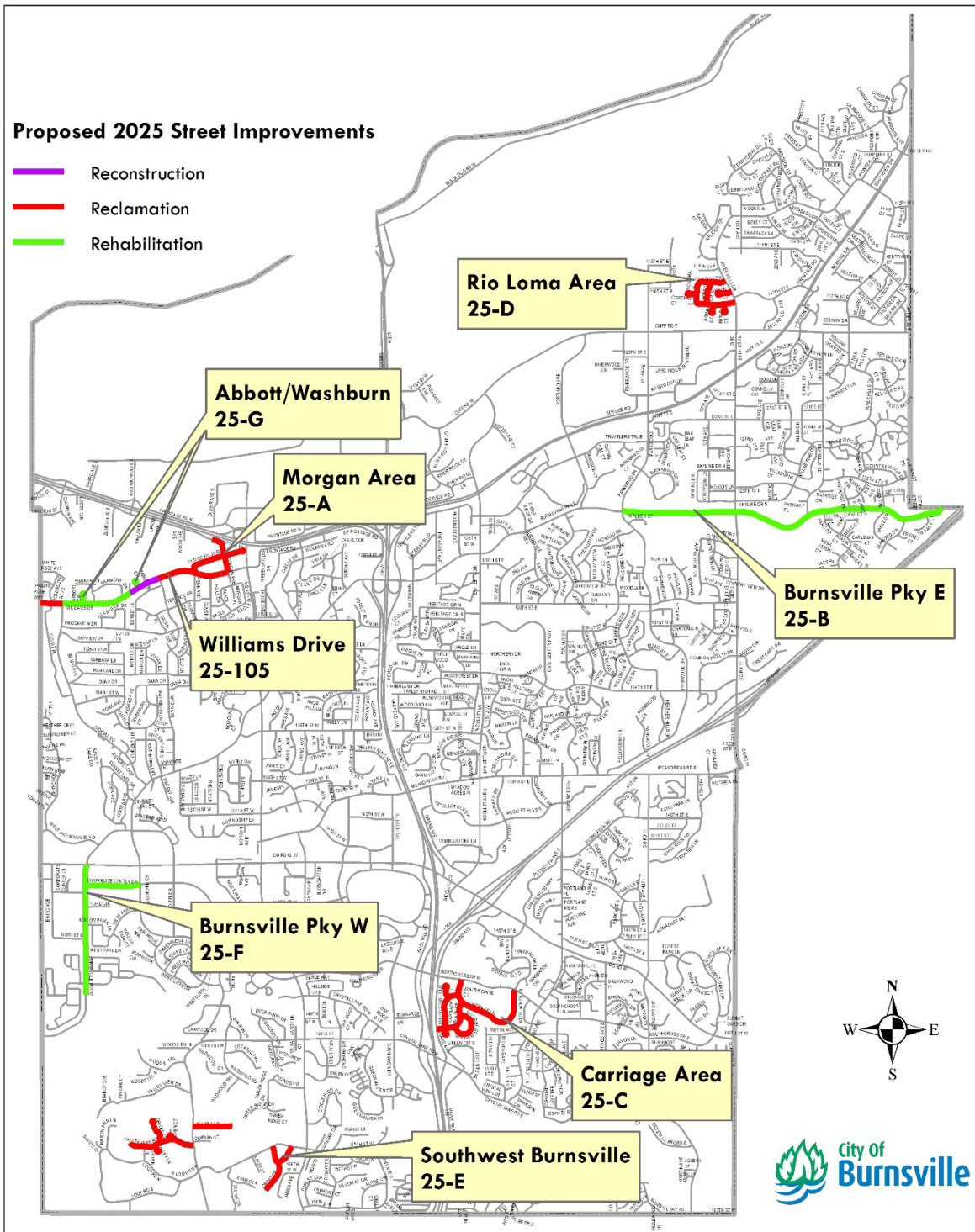
- Burnsville Parkway East Area (25-101-B)
 - Burnsville Parkway East from Parkwood Drive east to the Eagan border at Slater Drive, except for the County Road 11 intersection
- Burnsville Parkway West Area (25-101-F)
 - Burnsville Parkway West from County Road 42 to approximately 300 feet south of 145th Street West
- Williams Drive Area (24-105-H)
 - Williams Drive from Savage border, east to Morgan Avenue South
- Abbott/Washburn Area (25-105-G)
 - Abbott Circle
 - Washburn Court

2025 Street Reclamation Project Areas:

- Carriage Area (25-102-C)
 - Carriage Lane
 - Carriage Place Drive
 - Southpointe Curve
 - Southpointe Court
 - Williamsburg Curve
- Rio Loma Area (25-102-D)
 - Coronado Court
 - Lannon Court
 - Mirada Court
 - Rio Loma Drive
 - Rio Loma Lane
 - Rodeo Drive
 - Sierra Court
- Morgan Area (25-105-A)
 - Frontage Road South from Old County Road 34 to approximately 600' north
 - Morgan Avenue South from Williams Drive to Old County Road 34 Place
 - Old County Road 34 Place
- Southwest Burnsville (25-102-E)
 - Alcana Lane
 - Crest Drive
 - Oriole Court
 - Valley Lane
 - Valley View Road
 - Wren Court

D. OVERVIEW MAP

2025 Street Improvements



III. EXISTING CONDITIONS & PROPOSED IMPROVEMENTS

A. STREET RECLAMATION PROJECT – CARRIAGE AREA (25-102-C)

Improvement Type	Existing Condition	Proposed Improvements
1. Street	- Urban design, 28' wide face of curb to face of curb (excluding cul-de-sacs) - Constructed 1978-1987 - Poor pavement condition 2-3" of asphalt over 4-8" of sand /aggregate base - B618 concrete curb and gutter - Past maintenance includes seal coat, crack seal, and roadway patching	9-ton standard for local residential streets - Reclamation for areas where existing aggregate base is deep enough to meet design standards - Reclamation and salvage aggregate for street areas where existing aggregate base is not deep enough to meet design standards - Replace full 4" pavement section and 8" aggregate base - Spot replacement of significantly damaged or settled curb and gutter - Replace street signs and/or modify signs to meet current standards
	<i>Justification:</i> Streets recommended for reclamation are too deteriorated or lack sufficient pavement thickness to be rehabilitated with mill and overlay improvements. Since the existing curbs are in adequate condition, full reconstruction of streets is not necessary.	
2. Sidewalk & Pedestrian Ramps	- No existing sidewalks or trails within project area - Sidewalks adjacent to project area along Grand Avenue and Southcross Drive West	Improve existing adjacent pedestrian ramps on Grand Avenue and Southcross Drive West, where feasible, to be ADA compliant
	<i>Justification:</i> Pedestrian ramps are required, when feasible, to be improved when they do not conform with ADA standard.	
3. Traffic Signals	None	None
4. Watermain	6" ductile iron pipe, with a minimal history of breaks - Valves and hydrants are in fair condition	- Replace or adjust valve boxes, as needed - Replace gate valve bolts - Add gate valves as necessary and rebuild hydrants, as needed
	<i>Justification:</i> The valve boxes are likely to be disturbed with the street improvements. Replacing gate valve bolts will extend the useful life of the valves. Rebuilding the hydrants will significantly extend their service life and is cost-effective. Having the utility staff purchase and install the kits is more economical than having a contractor do the work. Several mainline valves may be added with the improvements to make it easier to isolate the main in the future for maintenance/repair.	
5. Sanitary Sewer	8" PVC pipe in good condition	Replace or adjust sanitary sewer manhole castings and adjusting rings

		• Spot repair of damaged sewer pipes as necessary • Potential for separate lining project of all sanitary pipes within the project area
	<i>Justification:</i> Sanitary sewer manhole castings will be disturbed by street improvements. Lining or spot repair of sanitary sewers prevents infiltration and extends the life by avoiding the need for replacement. When sanitary sewer pipes are generally in good condition, it is not cost-effective to fully replace the pipes with street improvement projects because pipe lining can be done efficiently and effectively. There is potential for the entire project area to be lined as part of a separate project.	
6. Storm Sewer & Drainage	• Various diameters of reinforced concrete pipe in good condition • Ongoing drainage analysis • Initial results show isolated flooding during heavy rain events is typical • Additional analysis is underway to determine if mitigation is needed • Residents reported minor street flooding	• Replace or adjust storm sewer manhole castings and adjusting rings • Replace or adjust catch basin castings where damaged or not compliant with current standards • Install short liners where cracks or infiltration is observed • Spot repair of observed damaged or failing pipes • Upsize pipes and add inlet capacity (as feasible) where stormwater modeling/analysis indicates a need and/or the addition of storm sewer to relieve areas of existing flooding.
	<i>Justification:</i> The storm sewer manhole castings will be disturbed by street improvements. Lining or spot repair of storm sewers extends the life by avoiding the need for replacement. The storm sewer system is reviewed in all street improvement areas for pipe size adequacy, pipe condition, and inlet capacity. Localized flooding is analyzed using XP-SWMM modeling software and by soliciting input from adjacent property owners. Drainage system upsizing or expansion is analyzed to determine if the improvements are necessary and feasible, and if so, completed with the project.	
7. Street Lighting	• Street lights in area • Owned by Dakota Electric Association • Currently being evaluated for replacement	• Work with Dakota Electric Association to replace lights in poor condition with LED fixtures and new poles, as needed. This effort will be done separate from this project.
	<i>Justification:</i> Adequate lighting is important for safety of all roadway users. Replacing poor condition street lights reduces maintenance costs and customer complaints. When replaced, LED street lights are more energy efficient.	
8. Complete Streets	• No existing multi-modal elements	• No multi-modal elements proposed



Looking east from Carriage Place Drive to Williamsburg Curve

B. STREET RECLAMATION PROJECT – RIO LOMA AREA (25-102-D)

Improvement Type	Existing Condition	Proposed Improvements
1. Street	- Urban design, 30' wide, face of curb to face of curb (excluding cul-de-sacs) - Constructed 1985 - 1986 - Poor pavement condition 3-5.5" asphalt over 4-5.25" of aggregate base - B618 concrete curb and gutter - Past maintenance includes seal coat, crack seal, and roadway patching	9-ton standard for local residential streets - Reclamation for areas where existing aggregate base is deep enough to meet design standards - Reclamation and salvage aggregate for street areas where existing aggregate base is not deep enough to meet design standards - Replace full 4" pavement section and 8" aggregate base - Spot replacement of significantly damaged or settled curb and gutter - Replace street signs and/or modify signs to meet current standards
	<i>Justification:</i> Streets recommended for reclamation are too deteriorated or lack sufficient pavement thickness to be rehabilitated with mill and overlay improvements. Since the existing curbs are in adequate condition, full reconstruction of streets is not necessary.	
2. Sidewalk & Pedestrian Ramps	- No existing sidewalks or trails within project area - Sidewalks adjacent to project area along River Hills Drive West	Improve existing adjacent pedestrian ramps on River Hills Drive West where feasible, to be ADA compliant
	<i>Justification:</i> Pedestrian ramps are required, when feasible, to be improved when they do not conform with ADA standard.	
3. Traffic Signals	None	None
4. Watermain	6" – 8" ductile iron pipe with minimal break history - Valves and hydrants in fair condition	- Replace or adjust valve boxes, as needed - Replace gate valve bolts - Add gate valves as necessary and rebuild hydrants, as needed
	<i>Justification:</i> The valve boxes are likely to be disturbed with the street improvements. Replacing gate valve bolts will extend the useful life of the valves. Rebuilding the hydrants will significantly extend their service life and is cost-effective. Having the utility staff purchase and install the kits is more economical than having a contractor do the work. Several mainline valves may be added with the improvements to make it easier to isolate the main in the future for maintenance/repair.	
5. Sanitary Sewer	8" PVC pipe in good condition	- Replace or adjust sanitary sewer manhole castings and adjusting rings - Spot repair of damaged sewer pipes as necessary - Potential for separate lining project of all sanitary pipes within the project area

	<i>Justification:</i> Sanitary sewer manhole castings will be disturbed by street improvements. Lining or spot repair of sanitary sewers prevents infiltration and extends the life by avoiding the need for replacement. When sanitary sewer pipes are generally in good condition, it is not cost-effective to fully replace the pipes with street improvement projects because pipe lining can be done efficiently and effectively. There is potential for the entire project area to be lined as part of a separate project.	
6. Storm Sewer & Drainage	• Various diameters of reinforced concrete pipe in good condition • Ongoing drainage analysis • Initial results show isolated street flooding during heavy rain events is typical • Additional analysis is underway to determine if mitigation is needed	• Replace or adjust storm sewer manhole castings and adjusting rings • Replace or adjust catch basin castings where damaged or not compliant with current standards • Install short liners where cracks or infiltration is observed • Spot repair of observed damaged or failing pipes • Upsize pipes and add inlet capacity (as feasible) where stormwater modeling/analysis indicates a need and/or the addition of storm sewer to relieve areas of existing flooding.
	<i>Justification:</i> The storm sewer manhole castings will be disturbed by street improvements. Lining or spot repair of storm sewers extends the life by avoiding the need for replacement. The storm sewer system is reviewed in all street improvement areas for pipe size adequacy, pipe condition, and inlet capacity. Localized flooding is analyzed using XP-SWMM modeling software and by soliciting input from adjacent property owners. Drainage system upsizing or expansion is analyzed to determine if the improvements are necessary and feasible, and if so, completed with the project.	
7. Street Light	• Decorative street lights in area • Owned by Xcel Energy • Currently being evaluated for replacement	• Work with Xcel Energy to replace lights in poor condition with LED fixtures and new poles, as needed. This effort will be done separate from this project.
	<i>Justification:</i> Adequate lighting is important for safety of all roadway users. Replacing poor condition street lights reduces maintenance costs and customer complaints. When replaced, LED street lights are more energy efficient.	
8. Complete Streets	• No existing multi-modal elements	• No multi-modal elements proposed



Rio Loma Drive looking west at Rodeo Drive

C. STREET RECLAMATION PROJECT – MORGAN AVENUE AREA (25-105-A)

Improvement Type	Existing Condition	Proposed Improvements
1. Street	• Old County Road 34 - Urban design, 30' wide, face of curb to face of curb • Morgan Avenue South/Frontage Road South - Urban design, 30' wide, face of curb to face of curb • Constructed 1977 - 1978 • Poor pavement condition • 3-4" asphalt over 11-13" of aggregate base • B618 concrete curb and gutter • Past maintenance includes seal coat, crack seal, and roadway patching	• 9-ton standard for local residential streets • Reclamation for areas where existing aggregate base is deep enough to meet design standards • Reclamation and salvage aggregate for street areas where existing aggregate base is not deep enough to meet design standards • Replace full 4" pavement section and 8" aggregate base • Spot replacement of significantly damaged or settled curb and gutter • Replace street signs and/or modify signs to meet current standards
	<i>Justification:</i> Streets recommended for reclamation are too deteriorated or lack sufficient pavement thickness to be rehabilitated with mill and overlay improvements. Since the existing curbs are in adequate condition, full reconstruction of streets is not necessary.	
2. Sidewalk & Pedestrian Ramps	• No existing sidewalks or trails within project area • Sidewalks adjacent to project area along Williams Drive	• Williams Drive will be improved as well, at the same time as this project area, a trail is proposed on the north side of Williams Drive that will intersect with Morgan Avenue South and will be constructed to ADA standards
	<i>Justification:</i> Adjacent trail improvements will meet ADA standards.	
3. Traffic Signals	• None	• None
4. Watermain	• 8" ductile iron pipe with no recorded break history • Valves and hydrants in fair condition	• Replace or adjust valve boxes, as needed • Replace gate valve bolts • Add gate valves as necessary and rebuild hydrants, as needed
	<i>Justification:</i> The valve boxes are likely to be disturbed with the street improvements. Replacing gate valve bolts will extend the useful life of the valves. Rebuilding the hydrants will significantly extend their service life and is cost-effective. Having the utility staff purchase and install the kits is more economical than having a contractor do the work. Several mainline valves may be added with the improvements to make it easier to isolate the main in the future for maintenance/repair.	
5. Sanitary Sewer	• 8-10" PVC pipe in good condition	• Replace or adjust sanitary sewer manhole castings and adjusting rings • Spot repair of damaged sewer pipes as necessary

		Potential for separate lining project of all sanitary pipes within the project area
	<i>Justification:</i> Sanitary sewer manhole castings will be disturbed by street improvements. Lining or spot repair of sanitary sewers prevents infiltration and extends the life by avoiding the need for replacement. When sanitary sewer pipes are generally in good condition, it is not cost-effective to fully replace the pipes with street improvement projects because pipe lining can be done efficiently and effectively. There is potential for the entire project area to be lined as part of a separate project.	
6. Storm Sewer & Drainage	- Various diameters of reinforced concrete pipe in good condition - Ongoing drainage analysis - Initial results show isolated street flooding during heavy rain events is typical - Additional analysis is underway to determine if mitigation is needed	- Replace or adjust storm sewer manhole castings and adjusting rings - Replace or adjust catch basin castings where damaged or not compliant with current standards - Install short liners where cracks or infiltration is observed - Spot repair of observed damaged or failing pipes - Upsize pipes and add inlet capacity (as feasible) where stormwater modeling/analysis indicates a need and/or the addition of storm sewer to relieve areas of existing flooding
	<i>Justification:</i> The storm sewer manhole castings will be disturbed by street improvements. Lining or spot repair of storm sewers extends the life by avoiding the need for replacement. The storm sewer system is reviewed in all street improvement areas for pipe size adequacy, pipe condition, and inlet capacity. Localized flooding is analyzed using XP-SWMM modeling software and by soliciting input from adjacent property owners. Drainage system upsizing or expansion is analyzed to determine if the improvements are necessary and feasible, and if so, completed with the project.	
7. Street Light	- Minimal on pole and decorative street lighting - Owned by Xcel Energy - Currently being evaluated for replacement	Work with Xcel Energy to replace lights in poor condition with LED fixtures and new poles, as needed. This effort will be done separate from this project
	<i>Justification:</i> Adequate lighting is important for safety of all roadway users. Replacing poor condition street lights reduces maintenance costs and customer complaints. When replaced, LED street lights are more energy efficient.	
8. Complete Streets	No existing multi-modal elements	Multi-modal plan does identify a proposed trail on the west side of Morgan Avenue South/Frontage Road South that extends from Williams Drive to the north that continues along Frontage Road South. However No multi-modal elements are proposed
	<i>Justification:</i> The proposed trail identified in the multi-modal plan is currently unfunded and exceeds the budget for this project area. The proposed trail is also redundant with	

	the inclusion of an off-street trail proposed for the adjacent work on Williams Drive. Additionally, this trail segment can be constructed in the future with minimal to no impacts to the other proposed improvements.
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Old County Road 34, midblock, looking east at Morgan Avenue South

D. STREET RECLAMATION PROJECT – SOUTHWEST BURNSVILLE AREA (25-102-E)

Improvement Type	Existing Condition	Proposed Improvements
1. Street	- The majority of - Rural design - Alcana Lane – 19-21' wide - Crest Drive – 22' wide - Oriole Court – 29' wide (excluding cul-de-sacs) - Valley Lane – 29' wide - Valley View Road – 19-21' wide - Wren Court – 90' diameter - Poor pavement condition 1-4" asphalt over 2-8.5" of aggregate base - Limited amount of custom asphalt curb - Past maintenance includes seal coat, crack seal, patching and in-house mill and overlays.	- Preferred 9-ton standard for local residential streets - Reclamation for areas where existing aggregate base is deep enough to meet design standards - Reclamation and salvage aggregate for street where existing aggregate base is not deep enough to meet design standards - Preferred Replace full 4" pavement section and 8" aggregate base - Replace asphalt curb where needed - Replace street signs and/or modify signs to meet current standards - Ongoing analysis for typical pavement and base section to best balance roadway use with proposed assessment cost to property owners.
<i>Justification:</i> Streets recommended for reclamation are too deteriorated or lack sufficient pavement thickness to be rehabilitated with mill and overlay improvements. Since there are no public utilities or extensive concrete curb and gutter, reclamation is the preferred approach. Staff is still analyzing alternate proposed pavement and base sections to provide for various street improvements options.		
2. Sidewalk & Pedestrian Ramps	None	None
3. Traffic Signals	None	None
4. Watermain	None, private wells.	None
<i>Justification:</i> There is no public watermain in the project areas or adjacent.		
5. Sanitary Sewer	None, private septic systems	None
<i>Justification:</i> There is no public sanitary sewer in the project areas or adjacent.		
6. Storm Sewer & Drainage	- Very minimal public drainage facilities - Limited to reinforced concrete pipe and corrugated metal pipe runs that discharge with flared ends near the edge of the city right of way	- Replace or adjust storm sewer manhole castings and adjusting rings - Replace or adjust catch basin castings where damaged or not compliant with current standards - Install short liners where cracks or infiltration is observed - Replace all corrugated metal pipe in the project area with reinforced concrete pipe
<i>Justification:</i> Due to the age of the developments in the project area and existing rural road section there is a very minimal amount existing storm sewer. The storm sewer manhole castings will be disturbed by street improvements. Lining or spot repair of storm sewers extends the life by avoiding the need for replacement. Corrugated metal		

	pipe at this age is likely failed or will fail before the next pavement maintenance cycle, it is advantages to replace with this project.	
7. Street Light	No existing public street lights exist in the project area	There is no intention to add street lighting in the project area. Residents/business owners could petition to add lighting with 100% of the cost assessed
	<i>Justification:</i> The project area was developed prior to City standard requiring on street lighting. The addition of lighting would be a significant expense that would be burdened to the residents/business owners. The addition of lighting is outside the scope of the City's proposed improvements.	
8. Complete Streets	No existing multi-modal elements	No multi-modal elements proposed



Alcana Lane, midblock, looking east

E. STREET RECLAMATION PROJECT – WILLIAMS DRIVE AREA (25-105-H)

Improvement Type	Existing Condition	Proposed Improvements
1. Street	- Urban design, minor collector, 56' wide - Poor pavement condition 3.5-7" asphalt over 3.5-15" of aggregate base - B618 concrete curb and gutter - Past maintenance includes seal coat, crack seal, several patches and portions previously milled and overlayed - Williams Drive is designated as a Municipal State Aid Street	9-ton+ standard for local residential streets - Road diet, roadway will be narrowed to three lanes, 38' face of curb to face of curb - Reclamation for areas where existing aggregate base is deep enough to meet design standards - Reclamation and salvage aggregate for street where existing aggregate base is not deep enough to meet design standards - Full reconstruction for areas where cast iron pipe water main is replaced - Spot replacement of significantly damaged or settled curb and gutter - Replace street signs and/or modify signs to meet current standards
	<i>Justification:</i> Streets recommended for reclamation are too deteriorated or lack sufficient pavement thickness to be rehabilitated with mill and overlay improvements. Since the existing curbs are in adequate condition, full reconstruction of streets is not necessary except in those areas that watermain is replaced. Narrowing the road will result in a corridor that is more appropriate for its traffic counts and use and will reduce future maintenance cost.	
2. Sidewalk & Pedestrian Ramps	- Sidewalks through the corridor on the south side of Williams Drive - Ped ramps at all corners of the Williams Drive and Morgan Ave South intersection - Sidewalk with a short trail segment on the north side of the corridor from the westerly project limits to Judicial Road - RRFB crossing of Williams Drive at Judicial Road	- RRFB will be replaced with a signalized intersection with pedestrian crossings. - Pedestrian ramps within project area will be evaluated and upgraded to meet ADA requirements, as needed
	<i>Justification:</i> Pedestrian ramps are required, when feasible, to be improved when they do not conform with ADA standard. The RRFB will be replaced with a signalized intersection as the intersection warrants signalization.	
3. Traffic Signals	None	Add traffic signal system at the 3-way intersection of Williams Drive and Judicial Road
	<i>Justification:</i> A corridor study completed by our consultant SEH Inc. indicated the need for intersection improvements at Williams Drive and Judicial Road due to declining traffic operations along the corridor. Various options such as differing roundabout designs and signal configurations were analyzed. The selected signal configuration	

	optimizes cost while improving traffic operations and safety of the intersection and corridor.	
4. Watermain	• 6" – 12" ductile iron pipe and cast-iron pipe with little break history • Valves and hydrants in fair condition	• Replace or adjust valve boxes, as needed • Replace gate valve bolts • Rebuild hydrants, as needed • Replace all cast-iron pipe in project area with ductile iron pipe
	<i>Justification:</i> The valve boxes are likely to be disturbed with the street improvements. Replacing gate valve bolts will extend the useful life of the valves. Rebuilding the hydrants will significantly extend their service life and is cost-effective. Having the utility staff purchase and install the kits is more economical than having a contractor do the work. Replacing aged cast iron pipe is prudent because cast iron pipe is prone to failure, has reached the end of its useful life and will likely fail before the next pavement maintenance cycle. This is the appropriate time to replace the pipe with modern materials.	
5. Sanitary Sewer	• Various segments of 8"-10" PVC in good condition • Various segments of 9" VCP in varying condition • Met-Council operates a wastewater intercept pipe network through the corridor	• Replace or adjust sanitary sewer manhole castings and adjusting rings • Spot repair of pipes where cracks are too large for lining • Potential for separate lining project of all sanitary pipes within the project area • Work with the Met-Council on any proposed improvements that are advantages to do in coordination with our project
	<i>Justification:</i> Sanitary sewer manhole castings will be disturbed by street improvements. Lining or spot repair of sanitary sewers prevents infiltration and extends the life by avoiding the need for replacement. When sanitary sewer pipes are generally in good condition, it is not cost-effective to fully replace the pipes with street improvement projects because pipe lining can be done efficiently and effectively. There is potential for the entire project area to be lined as part of a separate project. Working with our agency partners to ensure their infrastructure is properly maintained when we complete roadway work is an important partnership that provides for better outcomes for both agencies.	
6. Storm Sewer & Drainage	• Various diameters of reinforced concrete pipe in good condition • Ongoing drainage analysis • Initial results show isolated flooding during heavy rain events is typical • Additional analysis is underway to determine if mitigation is needed	• Replace or adjust storm sewer manhole castings and adjusting rings • Replace or adjust catch basin castings where damaged or not compliant with current standards • Install short liners where cracks or infiltration is observed • Spot repair of observed damaged or failing pipes • Adjust locations of storm inlets to accommodate new roadway width.

		Upsize pipes (as feasible) where stormwater modeling/analysis indicates a need
	<i>Justification:</i> The storm sewer manhole castings will be disturbed by street improvements. Lining or spot repair of storm sewers extends the life by avoiding the need for replacement. Due to the narrowing of the existing roadway, catch basins on the north side Williams drive will have to be reconstructed at the new curb location. The storm sewer system is reviewed in all street improvement areas for pipe size adequacy, pipe condition, and inlet capacity. Localized flooding is analyzed using XP-SWMM modeling software and by soliciting input from adjacent property owners. Drainage system upsizing or expansion is analyzed to determine if the improvements are necessary and feasible, and if so, completed with the project.	
7. Street Light	- Minimal decorative street lights in area - Power pole cobra style street lights in area, primarily at intersections - Owned by Xcel Energy - Currently being evaluated for replacement	Work with Xcel Energy to replace lights in poor condition with LED fixtures and new poles, as needed. This effort will be done separate from this project.
	<i>Justification:</i> Adequate lighting is important for safety of all roadway users. Replacing poor condition street lights reduces maintenance costs and customer complaints. When replaced, LED street lights are more energy efficient.	
8. Complete Streets	No existing multi-modal elements	- Multi-modal plan identifies a proposed on-street bike lane - Construct 10' bituminous trail on the north side of Williams Drive from Morgan Ave South to approximately Judicial Road.
	<i>Justification:</i> Staff engaged the professional planning and engineering services of SEH Inc. to complete a corridor study of Williams Drive. This corridor study included comprehensive community engagement and various alternatives for multi-modal improvements to the corridor. Ultimately through the corridor study process and public feedback, it was determined that reducing the width of Williams Drive and adding a 10' wide bituminous trail to the north side from Morgan Ave South to approximately Judicial Road was the most appropriate multi-modal improvement verse the Multi-Modal planned on-street bike lane.	



Williams Drive at Upton Avenue South, looking east

F. STREET REHABILITATION PROJECT – BURNSVILLE PARKWAY EAST AREA (24-102-C)

Improvement Type	Existing Condition	Proposed Improvements
1. Street	- Urban design, major collector - Parkwood Drive east to County Road 11, 4-lanes divided, 60' in total width of pavement, 30' each direction, face of curb to face of curb, constructed in 1971 - County Road 11 to Slater Road/Eagan Border, 2-lanes undivided, 36' wide face of curb to face of curb, constructed 1985-1987 3.5-6" of asphalt, over 10-19.5" of aggregate base - B618 concrete curb and gutter - Past maintenance includes seal coat, crack seal, various pavement patching and areas of mill and overlay - Parkwood Drive East to Kennelly Road is designated as a Municipal State Aid Street	9-ton standard for collector streets 2-3" full width mill and overlay - Remove and replace significantly deteriorated pavement areas prior to paving - Spot replacement of significantly damaged or settled curb and gutter - Replace street signs and/or modify signs to meet current standards
	<i>Justification:</i> Streets recommended for rehabilitation are generally in good enough condition to extend the service life and reduce future maintenance through mill and overlay, which is anticipated to extend the service life by about 20 years.	
2. Sidewalk & Pedestrian Ramps	- Existing sidewalk, south side from Parkwood Drive to Sable Drive, good condition - Existing sidewalk, north side from Sable Drive to Slater Road/Eagan Border, good condition	- Pedestrian ramps within project area will be evaluated and upgraded to meet ADA requirements, as needed - Replace significantly damaged or settled sidewalk panels.
	<i>Justification:</i> Pedestrian ramps are required, when feasible, to be improved when they do not conform with ADA standard.	
3. Traffic Signals	None	None
4. Watermain	16-36" raw watermain, various materials, no break history 10-12" cast iron pipe, minimal break history 6-12" ductile iron pipe with minimal break history - Valves and hydrants in good condition	- Replace or adjust valve boxes, as needed - Replace gate valve bolts - Add gate valves as necessary and rebuild hydrants, as needed
	<i>Justification:</i> The valve boxes are likely to be disturbed with the street improvements. Replacing gate valve bolts will extend the useful life of the valves. Rebuilding the hydrants will significantly extend their service life and is cost-effective. Having the utility staff purchase and install the kits is more economical than having a contractor do the work. Several mainline valves may be added with	

	the improvements to make it easier to isolate the main in the future for maintenance/repair.	
5. Sanitary Sewer	• 10" ductile iron pipe • 8-10" PVC pipe • Pipes in good condition	• Replace or adjust sanitary sewer manhole castings and adjusting rings • Install short liners where cracks or infiltration are observed • Spot repair of pipes where cracks are too large for lining
	<i>Justification:</i> Sanitary sewer manhole castings will be disturbed by street improvements. Lining or spot repair of sanitary sewers prevents infiltration and extends the life by avoiding the need for replacement. When sanitary sewer pipes are generally in good condition, it is not cost-effective to fully replace the pipes with street improvement projects because pipe lining can be done efficiently and effectively.	
6. Storm Sewer & Drainage	• Various diameters of reinforced concrete pipe in good condition • Ongoing drainage analysis • Initial results show isolated street flooding during heavy rain events is typical • Additional analysis is underway to determine if mitigation is needed	• Replace or adjust storm sewer manhole castings and adjusting rings • Replace or adjust catch basin castings where damaged or not compliant with current standards • Install short liners where cracks or infiltration is observed • Spot repair of observed damaged or failing pipes • Upsize pipes and add inlet capacity (as feasible) where stormwater modeling/analysis indicates a need and/or the addition of storm sewer to relieve areas of existing flooding.
	<i>Justification:</i> The storm sewer manhole castings will be disturbed by street improvements. Lining or spot repair of storm sewers extends the life by avoiding the need for replacement. The storm sewer system is reviewed in all street improvement areas for pipe size adequacy, pipe condition, and inlet capacity. Localized flooding is analyzed using XP-SWMM modeling software and by soliciting input from adjacent property owners. Drainage system upsizing or expansion is analyzed to determine if the improvements are necessary and feasible, and if so, completed with the project.	
7. Street Light	• Minimal amount of existing public street lights exist along the corridor, limited to mast arm lighting on poles at intersections	• There is no intention to add street lighting in the project area. Residents/business owners could petition to add lighting with 100% of the cost assessed
	The project area was developed prior to City standard requiring on street lighting. The addition of lighting would be a significant expense that would be born by the residents/business owners. The addition of lighting is outside the scope of the City's proposed improvements.	
8. Complete Streets	• Existing bituminous trail on the north side on the north side of Burnsville Parkway East to Utecht Pond	• Multi-modal plan identifies a proposed 10' wide bituminous trail on Burnsville Parkway East from Kennelly

		Road to Parkwood Road (the trail continues outside the project area)
	<i>Justification:</i> The Multi-Modal Plan identifies a proposed 10' wide bituminous trail from Kennelly Road to Parkwood Road. This proposed route continues well outside the project limit, is currently unfunded and exceeds the budget for this project area. Because of the budget implications, this segment will not be constructed with this project. This trail segment can be constructed in the future, behind the back of curb, with minimal to no impacts to the other proposed improvements from this project, there is ample right of way on either the north or south portion of the proposed route, with similar difficulties for construction.	



Burnsville Parkway East at County Road 11 looking east

G. STREET REHABILITATION PROJECT – BURNSVILLE PARKWAY WEST AREA (24-102-C)

Improvement Type	Existing Condition	Proposed Improvements
1. Street	- Urban design, major collector - Burnsville Parkway West, 40' wide face of curb to face of curb, constructed in 1988 - Urban design, minor collector - Corporate Center Drive, 44' wide face of curb to face of curb, constructed in 1995 4.5-6" of asphalt, over 2.5-11" of aggregate base - B618 concrete curb and gutter - Past maintenance includes seal coat, crack seal, various pavement patching and areas of mill and overlay - This segment of Burnsville Parkway West is designated as a Municipal State Aid Street	9-ton standard for collector streets 2-3" full width mill and overlay - Remove and replace significantly deteriorated pavement areas prior to paving - Spot replacement of significantly damaged or settled curb and gutter - Replace street signs and/or modify signs to meet current standards
	<i>Justification:</i> Streets recommended for rehabilitation are generally in good enough condition to extend the service life and reduce future maintenance through mill and overlay, which is anticipated to extend the service life by about 20 years.	
2. Sidewalk & Pedestrian Ramps	- Existing sidewalk east side of Burnsville Parkway West - Existing sidewalk on north side of Corporate Center Drive	- Pedestrian ramps within project area will be evaluated and upgraded to meet ADA requirements, as needed - Replace significantly damaged or settled sidewalk panels.
	<i>Justification:</i> Pedestrian ramps are required, when feasible, to be improved when they do not conform with ADA standard.	
3. Traffic Signals	County Road 42 signal, owned and maintained by Dakota County	Staff will coordinate with Dakota County any improvements that are needed for this existing signal
4. Watermain	12" ductile iron pipe with minimal break history - Valves and hydrants in good condition	- Replace or adjust valve boxes, as needed - Replace gate valve bolts - Add gate valves as necessary and rebuild hydrants, as needed
	<i>Justification:</i> The valve boxes are likely to be disturbed with the street improvements. Replacing gate valve bolts will extend the useful life of the valves. Rebuilding the hydrants will significantly extend their service life and is cost-effective. Having the utility staff purchase and install the kits is more economical than having a contractor do the work. Several mainline valves may be added with the improvements to make it easier to isolate the main in the future for maintenance/repair.	
5. Sanitary Sewer	None	None
	<i>Justification:</i> N/A	

6. Storm Sewer & Drainage	• Various diameters of reinforced concrete pipe in good condition • Ongoing drainage analysis • Initial results show isolated street flooding during heavy rain events is typical • Additional analysis is underway to determine if mitigation is needed	• Replace or adjust storm sewer manhole castings and adjusting rings • Replace or adjust catch basin castings where damaged or not compliant with current standards • Install short liners where cracks or infiltration is observed • Spot repair of observed damaged or failing pipes • Upsize pipes and add inlet capacity (as feasible) where stormwater modeling/analysis indicates a need and/or the addition of storm sewer to relieve areas of existing flooding.
	<i>Justification:</i> The storm sewer manhole castings will be disturbed by street improvements. Lining or spot repair of storm sewers extends the life by avoiding the need for replacement. The storm sewer system is reviewed in all street improvement areas for pipe size adequacy, pipe condition, and inlet capacity. Localized flooding is analyzed using XP-SWMM modeling software and by soliciting input from adjacent property owners. Drainage system upsizing or expansion is analyzed to determine if the improvements are necessary and feasible, and if so, completed with the project.	
7. Street Light	• Minimal amount of existing public street lights exist along the corridor, limited to mast arm lighting on poles at intersections	• There is no intention to add street lighting in the project area. Residents/business owners could petition to add lighting with 100% of the cost assessed
	The project area was developed prior to City standard requiring on street lighting. The addition of lighting would be a significant expense that would be born by the residents/business owners. The addition of lighting is outside the scope of the City's proposed improvements.	
8. Complete Streets	• None	• Multi-modal plan identifies a proposed 10' wide bituminous trail from County Road 42 to Kelleher Park
	<i>Justification:</i> The Multi-Modal Plan identifies a proposed 10' wide bituminous trail on the east side of Burnsville Parkway West from County Road 42 to Kelleher Park. This proposed route is currently unfunded and exceeds the budget for this project area. Because of the budget implications, this segment will not be constructed with this project. This trail segment can be constructed in the future, behind the back of curb, with minimal to no impacts to the other proposed improvements from this project, there is ample right of way along the proposed route.	



Burnsville Parkway West, looking north just south of 145th Street

H. STREET REHABILITATION PROJECT – ABBOTT/WASHBURN AREA (25-105-G)

Improvement Type	Existing Condition	Proposed Improvements
1. Street	- Abbott Circle, urban design, 30' wide face of curb to face of curb, constructed in 1977, reconstructed in 2003 - Washburn Court, urban design, 30' wide face of curb to face of curb, constructed in 1991, reconstructed in 2003 2.5-3.25" of asphalt, over 6.25-8" of aggregate base - B618 concrete curb and gutter - Past maintenance includes seal coat, crack seal, various pavement patching and areas of mill and overlay	9-ton standard for collector streets 2" full width mill and overlay - Remove and replace significantly deteriorated pavement areas prior to paving - Spot replacement of significantly damaged or settled curb and gutter - Replace street signs and/or modify signs to meet current standards
	<i>Justification:</i> Streets recommended for rehabilitation are generally in good enough condition to extend the service life and reduce future maintenance through mill and overlay, which is anticipated to extend the service life by about 20 years.	
2. Sidewalk & Pedestrian Ramps	None	None
3. Traffic Signals	None	None
4. Watermain	6" ductile iron pipe with minimal break history - Valves and hydrants in good condition	- Replace or adjust valve boxes, as needed - Replace gate valve bolts - Add gate valves as necessary and rebuild hydrants, as needed
	<i>Justification:</i> The valve boxes are likely to be disturbed with the street improvements. Replacing gate valve bolts will extend the useful life of the valves. Rebuilding the hydrants will significantly extend their service life and is cost-effective. Having the utility staff purchase and install the kits is more economical than having a contractor do the work. Several mainline valves may be added with the improvements to make it easier to isolate the main in the future for maintenance/repair.	
5. Sanitary Sewer	9" VCP pipe in various condition 8" PVC pipe in good condition	- Replace or adjust sanitary sewer manhole castings and adjusting rings - Spot repair of damaged sewer pipes as necessary - Potential for separate lining project of all sanitary pipes within the project area
	<i>Justification:</i> Sanitary sewer manhole castings will be disturbed by street improvements. Lining or spot repair of sanitary sewers prevents infiltration and extends the life by avoiding the need for replacement. When sanitary sewer pipes are generally in good condition, it is not cost-effective to fully replace the pipes with street improvement projects because pipe lining can be done efficiently and effectively. There is potential for the entire project area to be lined as part of a separate project.	

6. Storm Sewer & Drainage	• Various diameters of reinforced concrete pipe in good condition • Ongoing drainage analysis • Initial results show isolated street flooding during heavy rain events is typical • Additional analysis is underway to determine if mitigation is needed	• Replace or adjust storm sewer manhole castings and adjusting rings • Replace or adjust catch basin castings where damaged or not compliant with current standards • Install short liners where cracks or infiltration is observed • Spot repair of observed damaged or failing pipes • Upsize pipes and add inlet capacity (as feasible) where stormwater modeling/analysis indicates a need and/or the addition of storm sewer to relieve areas of existing flooding.
	<i>Justification:</i> The storm sewer manhole castings will be disturbed by street improvements. Lining or spot repair of storm sewers extends the life by avoiding the need for replacement. The storm sewer system is reviewed in all street improvement areas for pipe size adequacy, pipe condition, and inlet capacity. Localized flooding is analyzed using XP-SWMM modeling software and by soliciting input from adjacent property owners. Drainage system upsizing or expansion is analyzed to determine if the improvements are necessary and feasible, and if so, completed with the project.	
7. Street Light	• Minimal amount of existing public street lights exist along the corridor, limited to mast arm lighting on poles at intersections	• There is no intention to add street lighting in the project area. Residents/business owners could petition to add lighting with 100% of the cost assessed
	The project area was developed prior to City standard requiring on street lighting. The addition of lighting would be a significant expense that would be born by the residents/business owners. The addition of lighting is outside the scope of the City's proposed improvements.	
8. Complete Streets	• None	• None



Washburn Court looking south towards Williams Drive

IV. STREET CONSTRUCTION PROCESSES

Full depth reclamation consists of:

- Grinding up the existing pavement and aggregate to a depth of 9 to 12 inches creating a salvaged aggregate base
- Excavation and grading of salvaged aggregate
- Localized subgrade excavation, as needed
- Finish aggregate base section for paving of all asphalt layers

Full depth reclamation and salvage aggregate consists of:

- Grinding up the existing pavement and aggregate to a depth of 9 to 12 inches creating a salvaged aggregate base
- Excavation and hauling of the salvaged aggregate base material to a stockpile
- Excavation and grading of the subgrade to the proposed aggregate base section
- Hauling and placing of the salvaged aggregate base material that was stockpiled
- Finish aggregate base section for paving of all asphalt layers

Street reclamation promotes sustainability by:

- Using existing pavement and aggregate
- Reducing the need for importing aggregate
- Being cost effective

Full width mill and overlay consist of:

- Milling the top layer of asphalt
- Removal and patching of the asphalt that is left in place, as needed, to repair significantly deteriorated spots
- Paving of top asphalt layer(s)

Street rehabilitation promotes sustainability by:

- Leaving most of the existing pavement in place
- Prolonging pavement life and to defer the need for reconstruction
- Being cost effective

V. RIGHT-OF-WAY, EASEMENTS, AND PERMITS

A National Pollutant Discharge Elimination System (NPDES) construction stormwater permit will be necessary and obtained from the Minnesota Pollution Control Agency for the reclamation projects.

All the street improvement and utility work are within the City's right-of-way, no right of way or easement acquisition will be required.

VI. COST ESTIMATES AND BUDGET

The estimated total project costs include construction costs plus 28% indirect costs. The estimated construction costs are based on past construction costs with an increase for inflation. The 28% indirect costs consist of:

- 15% Engineering
- 5% Administration
- 5% Construction Contingency
- 3% Legal and Fiscal Costs

The following table summarizes the total estimated project costs for each street improvement project type:

Improvement Type	Reclamation Areas	Rehabilitation Areas	Total
Streets	\$7,300,000	\$2,730,000	\$10,030,000
Storm Sewer	\$605,000	\$268,000	\$873,000
Sanitary Sewer	\$195,000	\$146,000	\$341,000
Watermain	\$1,025,000	\$370,000	\$1,395,000
Multi-Modal	\$350,000		
Totals	\$9,475,000	\$3,514,000	\$12,989,000

The following table shows the estimated cost for the project broken down by funding source compared to the Capital Improvement Plan (CIP) budget for each funding source.

Funding Source	Estimated Cost	CIP Budget
Infrastructure Trust Fund (ITF), Streets	\$3,945,000	\$1,917,396
Municipal State Aid	\$3,135,000	\$3,135,000
Williams Drive LRIP Grant	\$1,500,000	\$1,500,000
Special Assessments	\$1,800,000	\$950,000
Storm Water Utility Fund	\$873,000	\$930,000
Sanitary Sewer Utility Fund	\$341,000	\$270,000
Water Utility Fund	\$1,395,000	\$1,804,000
Totals	\$12,989,000	\$11,356,396

The total estimated project costs are more than the CIP budget. The current bidding environment is uncertain due to several factors, including inflation, labor shortages, and unstable prices on various materials. Staff is still analyzing several design options for Southwest Burnsville Area and Williams Drive Area. Once bids are received, staff will evaluate and future Capital Improvement Plans will be adjusted, if necessary, to ensure all funds have adequate fund balances.

VII. FINANCING

I. FUNDING SOURCES

The following table identifies the funding sources for each type of improvement within the street improvement project areas:

Improvement Type	Funding Source(s)
Streets	Infrastructure Trust Fund (ITF) Municipal State Aid Williams Drive LRIP Grant Special Assessments
Storm Sewer	Storm Water Utility Fund
Sanitary Sewer	Sanitary Sewer Utility Fund
Watermain	Water Utility Fund
Multi-Modal	Williams Drive LRIP Grant

J. SPECIAL ASSESSMENTS

1. Policy

Appendix B contains a copy of City Policy 5.010 – Public Improvements Special Assessment Policy. This policy applies to all street improvements outside of southwest Burnsville and:

- Classifies projects as street reconstruction, reclamation, or rehabilitation
- Sets minimum standards for street reconstruction, reclamation, and rehabilitation
- Sets assessment rates at 40% of the rolling average of the past three years' actual street improvement costs for street reconstruction, rehabilitation and reclamation
- Allows the balance of the costs for the projects to come from the City's Storm Water Utility Fund, Water and Sewer Utility Funds, Street Light Utility Fund, Infrastructure Trust Fund and the City's Municipal State Aid Street apportionment
- Allows for 100% special assessment on items that were not included on the original street such as concrete curb and gutter, sidewalks, and on-street parking

Appendix B also contains a copy of City Policy 5.035 Streets and Utility Improvements in the Southwest Area. This policy applies to all street improvements located within the Southwest Public Services Study area of southwest Burnsville and:

- Outlines how infrastructure improvements or maintenance is completed and how the cost associated with those improvements is allocated between property owners and the City.
- Sets a standard for determining per unit cost for assessment purposes.
- Sets the assessment rate at 40% of actual cost for street improvements of existing asphalt roads, if initiated by the city.
- All other improvements may not be initiated by the city.

2. Rates

Frontage Rates, excluding Southwest Burnsville

In accordance with City Policy 5.010, the assessment rates for the street reclamation and rehabilitation projects are listed below. The rates are reduced for streets that are narrower than prescribed in the assessment policy. Single family land use properties that have additional roadway frontages are removed from street rehabilitation project assessment rolls.

2025 Street Reclamation Assessment Rates	
Single Family Residential, Parks/Recreation and Open Space Land Use:	\$25.51/ft abutting
Multi-Family Residential & Manufactured Housing Land Use:	\$38.26/ft abutting
All Other Land Uses:	\$51.01/ft abutting

2025 Street Rehabilitation Assessment Rates	
Single Family Residential, Parks/Recreation and Open Space Land Use:	\$21.49/ft abutting
Multi-Family Residential & Manufactured Housing Land Use:	\$27.94/ft abutting
All Other Land Uses:	\$34.38/ft abutting

Single Family Per-Unit Rate, excluding Southwest Burnsville

Single family detached and attached properties are assessed on a per-unit basis. Single family detached and attached units are defined as follows:

- Single Family (Detached): a stand-alone residence with a free-standing building that occupies its own lot and without shared walls or common land.
- Single Family (Attached): a single-family residence that is built to the edge of the lot line next to another similar residence, such that the residences share a common wall. These are typically duplexes, three-plexes, and four-plexes where each structure is on its own lot and there is no shared common land.

Single family detached properties are assessed 1 unit each. Single family attached properties are assessed 0.6 units each. The per-unit rate is calculated as follows:

$$\frac{\text{Total Single Family (SF) Frontage} \times \text{Single Family Rate}}{\text{Number of Units}} = \text{SF Per-Unit Rate}$$

Standard Reclamation Area Single Family Rates:

$$\frac{23,398 \text{ ft} \times \$25.51/\text{ft}}{220 \text{ units}} = \$2,713.11 \text{ per single family detached}$$

$$\$2,713.11 \times .6 = \$1,627.88 \text{ per single family attached}$$

Standard Rehabilitation Area Single Family Rates:

$$\frac{7,967 \text{ ft} \times \$21.49/\text{ft}}{72 \text{ units}} = \$2,377.94 \text{ per single family detached}$$

$$\$2,377.94 \times .6 = \$1,426.76 \text{ per single family attached}$$

Southwest Area Burnsville Per-Unit Rate

Per-unit rates are determined by taking 40% of the total roadway project cost and dividing it by the number of units within the project area. Total units are calculated by totaling the number of units adjacent to the project area. This project has a total of 57 – 1 unit and 1 – 2 unit properties. For a total of 59 units.

Southwest Burnsville Per Unit Rate:

$$\frac{\$1,028,392 \text{ total roadway project cost} \times .4}{59 \text{ units}} = \$8,277.14 \text{ per unit}$$

3. Assessment Exceptions

Pursuant to the above discussions and City Policy 5.010 regarding Special Assessments, the following properties are proposed for exceptions to the Special Assessments Policy:

Mahoney Townhomes

The Mahoney Townhomes Association is located on the south side of Williams Drive between Penn Avenue South and Olive Avenue South. The association has common land directly adjacent to the proposed street improvements for the Williams Drive Area (25-105-H) project. Per the policy, common land adjacent to proposed street improvements is to be assessed to all property owners' part of a homeowner's association with an interest in the common land.

City Policy 5.010 identifies these properties as multi-family, when they more closely align with the definition of and use as signal family attached, with the exception of having common land. Single family homes are assessed off the street they receive access from. No part of the association receives direct access from the proposed improved streets.

Minnesota Statute 429 requires the City to be able to show a benefit to the assessed properties. Staff believes, with input from our market benefit consultant, that the City would not be able to show an adequate benefit that would meet the statutory requirements for the proposed improvements. This is due to the improvements not being visible during months with foliage and not having direct access to the proposed street improvements from the assessed properties.

Staff recommends that the proposed assessments for the Williams Drive Area (25-105-H) street improvement project should be waived for the Mahoney Townhomes Association properties.



Approximate Location of the Mahoney Townhomes Association

Birnamwood Townhome Association

The Birnamwood Townhome Association is located on the north side of Burnsville Parkway East between Parkwood Drive and County Road 11. The association has common land directly adjacent to the proposed street improvements for the Burnsville Parkway East Area (25-101-B) project. Per the policy, common land adjacent to proposed street improvements is to be assessed to all property owners' part of a homeowner's association with an interest in the common land.

City Policy 5.010 identifies these properties as multi-family, when they more closely align with the definition of signal family attached, with the exception of having common land. Single family homes are assessed off the street they receive access from. No part of the association receives direct access from the proposed improved streets.

Minnesota Statute 429 requires the City to be able to show a benefit to the assessed properties. Staff believes, with input from our market benefit consultant, that the City would not be able to show an adequate benefit that would meet the statutory requirements for the proposed improvements. This is due to the improvements not being visible due to dense woods and a large earthen berm and not having direct access to the proposed street improvements from the assessed properties.

Staff recommends that the proposed assessments for the Burnsville Parkway East Area (25-101-B) street improvement project should be waived for the Birnamwood Townhome Association properties.



Approximate Location of the Birnamwood Townhome Association

PID 020170033020 – SW Corner of Burnsville Parkway West and County Road 11

Parcel ID (PID) 020170033020, an undeveloped property located at the southwest corner of Burnsville Parkway West and County Road 11, will be affected by the proposed improvements for the Burnsville Parkway East Area (25-101-B) project. Based on current City policy, the calculated assessment for this parcel is \$25,700.

Given the undeveloped nature of the property and its unique topography, staff sought an independent assessment of the project's impact. Nagell Appraisal Incorporated was retained to conduct a market benefit analysis, considering the proposed street improvements. This analysis determined that the property would likely realize a market benefit of approximately \$10,000. This differs significantly from the calculated assessment of \$25,700. It's important to note that Minnesota Statute 429 requires the City to demonstrate that the assessed benefit is equal to or greater than the actual benefit received by the property.

Staff recommends that the proposed assessment for the Burnsville Parkway East Area (25-101-B) project should be reduced from \$25,700 to \$10,000 for PID 020170033020.



Approximate Location of PID 020170033020

2208, 2316 & 2420 Old County Road 34 Place

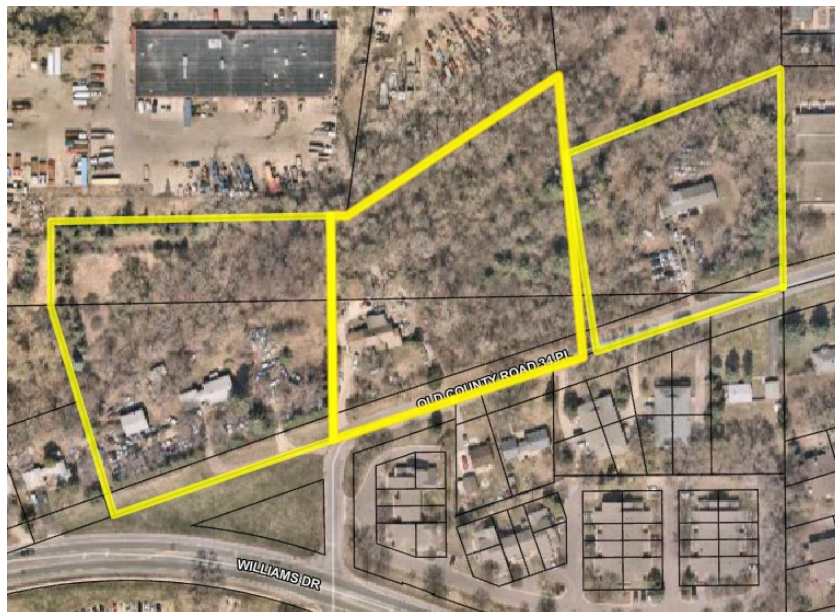
Properties at 2208, 2316, and 2420 Old County Road 34 Place are single-family homes, each parcel exceeds two acres and are located adjacent to the Morgan Area (25-105-A) project. While the standard assessment for single-family detached homes is \$2,713.11, these properties have significantly larger lot sizes and extensive street frontage. To ensure an equitable assessment, staff recommends an adjusted assessment of \$8,613.88 for each property. This value was calculated by using the properties total frontage, multiplying it by the single family detached reclamation rate and then dividing by the three units.

$$\frac{\text{Total Frontage} \times \text{Single Family Rate}}{\text{Number of Units}} = \text{SF Per-Unit Rate}$$

$$\frac{1,013 \text{ ft} \times \$25.51/\text{ft}}{3 \text{ units}} = \$8,613.88 \text{ per unit}$$

Staff has retained the services of Nagell Appraisal Incorporated to evaluate the properties and the proposed street improvements to provide an approximate market benefit analysis for each property. These evaluations are approximate and can fluctuate. Below is a table of the proposed assessment verse market benefit analysis.

2208, 2316 & 2420 Old County Road 34 Place – Special Rate			
Address	Policy Rate	Staff Recommendation	Market Benefit Analysis Rate
2208 Old Cr 34 Pl	\$2,713.11	\$8,613.88	\$10,000
2316 Old Cr 34 Pl	\$2,713.11	\$8,613.88	\$12,000
2420 Old Cr 34 Pl	\$2,713.11	\$8,613.88	\$8,000



Approximate Location of the Mahoney Townhomes Association

4. Areas

Pursuant to the above discussions and City Policy 5.010 and 5.035 regarding Special Assessments, the following areas are proposed for assessment:

The 2025 street rehabilitation projects include the following street segments:

Burnsville Parkway East Area (25-101-B)

Burnsville Parkway East from Parkwood Drive east to the Eagan border at Slater Drive, except for the County Road 11 intersection

Burnsville Parkway West Area (25-101-F)

Burnsville Parkway West from County Road 42 to approximately 300 feet south of 145th Street West

Williams Drive Area (24-105-H)

Williams Drive from Savage border, east to Morgan Avenue South

Abbott/Washburn Area (25-105-G)

Abbott Circle
Washburn Court

The 2025 street reclamation projects include the following street segments:

Carriage Area (25-102-C)

Carriage Lane
Carriage Place Drive
Southpointe Curve
Southpointe Court
Williamsburg Curve

Rio Loma Area (25-102-D)

Coronado Court
Lannon Court
Mirada Court
Rio Loma Drive
Rio Loma Lane
Rodeo Drive
Sierra Court

Southwest Burnsville (25-102-E)

Alcana Lane
Crest Drive
Oriole Court
Valley Lane
Valley View Road
Wren Court

Morgan Area (25-105-A)

Frontage Road South from Old County Road 34 to approximately 600' north

Morgan Avenue South from Williams Drive to Old County Road 34 Place
Old County Road 34 Place

Appendix A contains preliminary assessment maps and assessment rolls for each of the projects.

5. Bonding

If needed, bonding for these projects is likely going to be Improvement Bonds under State Statute 429. The City will follow the requirements of the Statute 429 process for assessments and the possibility of issuing assessment bonds.

VIII. SCHEDULE

The tentative project schedule is as follows:

Order Preparation of Preliminary Report (429)	June 18, 2024
Open House, 5 pm – 7 pm at Fire Station 1	October 3, 2024
Open House, 4 pm – 6 pm at North River Hills Park	October 8, 2024
Open House, 5 pm – 7 pm at City Hall (Williams Drive Area Projects)	November 20, 2024
Receive Preliminary Report, Order Plans and Specifications, Call Public Hearing (429)	December 17, 2024
Public Hearing, Order Improvement, Approve Plans and Specifications and Order Ad for Bids (429)	February 4, 2024
Receive Bids	March 2025
Assessment Hearing and Consider Award of Contract	April-May 2025
Pre-Construction Meeting with Stakeholders	May 2025
Construction Season	May-October 2025
Post-Construction Customer Satisfaction Survey	October 2025
Final Cleanup Completed	June 2026

IX. CONCLUSION

All of the projects listed in this report are feasible, cost-effective, and necessary improvement projects for the City of Burnsville. It is recommended that these public improvements be constructed as listed in this report.

Appendix A

Preliminary Assessment Maps and Roll

PRELIMINARY ASSESSMENT ROLL
Project 25-105
Williams Dr - Rehabilitation

Single Family Rate:	\$	21.49
Single Family - Detached Per Unit Rate:	\$	2,366.02
Single Family - Attached Per Unit Rate:	\$	1,426.76
Multi-Family Rate:	\$	27.94
DONNAYS BURNSVILLE HEIGHTS CIC NO 126 Reclaim/Rehab:	\$	1,017.34
Other Rate:	\$	34.38

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Footage/ Units	Prelim S/A	S/A Term
1	02-01500-83-034	3555 WILLIAMS DR	MICHAEL BRIAN HASKINS		3555 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
3	02-01500-83-010	3525 WILLIAMS DR	CHAD R WIECH		3525 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
4	02-01500-84-020	3521 WILLIAMS DR	CHRISTOPHER J & KATIE P GILES		3511 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
5	02-01500-83-040	3511 WILLIAMS DR	CHRISTOPHER JOSEPH GILES	KATIE PLINCK GILES	3511 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
6	02-01500-83-080	3509 WILLIAMS DR	GARY KELLER	DIANNE KELLER	3509 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
7	02-01500-83-070	3505 WILLIAMS DR	EMMA SUSAN HATHAWAY		3505 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
8	02-01500-84-032	3405 WILLIAMS DR	JEFF S & TAMARA L MOULD		3405 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
9	02-01500-84-031	3401 WILLIAMS DR	JOSEPH & CYNTHIA DESMARAIS		3401 COUNTY RD 34	BURNSVILLE MN 55337-1884	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
10	02-01500-84-012	3321 WILLIAMS DR	KEVIN K RALEY		3321 WILLIAMS DR	BURNSVILLE MN 55337-1895	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
11	02-01500-84-011	3317 WILLIAMS DR	JOSE ANTONIO	CRUZ GARCIA	3317 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 15 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
12	02-73251-01-080	3313 WILLIAMS DR	JAMES G JR ALES		3313 WILLIAMS DR	BURNSVILLE MN 55337	SUNSET TERRACE 2ND ADD	8	1	SFD	1	\$ 2,366.02	15
13	02-73251-01-070	3309 WILLIAMS DR	CHESTER F & CHERYL WALCZAK		3309 WILLIAMS DR	BURNSVILLE MN 55337-1895	SUNSET TERRACE 2ND ADD	7	1	SFD	1	\$ 2,366.02	15
14	02-73251-01-060	N/A	CITY OF BURNSVILLE		100 CIVIC CENTER PKWY	BURNSVILLE MN 55337-3817	SUNSET TERRACE 2ND ADD	6	1	SF	150	\$ 3,223.50	15
15	02-73251-00-040	N/A	CITY OF BURNSVILLE		100 CIVIC CENTER PKWY	BURNSVILLE MN 55337-3817	SUNSET TERRACE 2ND ADD	OUTLOT D		SF	332	\$ 7,134.68	15
16	Intentionally Left Blank												
17	02-32900-00-020	2525 WILLIAMS DR	MIMG XXXVIII STONE GROVE LLC		2195 HIGHWAY 83 N STE 14B	FRANKTOWN CO 80116	HIGHLAND FOREST 1ST ADD	OUTLOT B		O	1015	\$ 34,895.70	15
39	02-21020-01-250	2200 WILLIAMS DR	MOHAMED AIDID AHMED		2200 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	25	1	SFA	1	\$ 1,017.34	10
40	02-21020-01-260	2204 WILLIAMS DR	TUAN NGOC TRAN		2204 WILLIAMS DR	BURNSVILLE MN 55337-2010	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	26	1	SFA	1	\$ 1,017.34	10
41	02-21020-01-270	2208 WILLIAMS DR	LUC ALBERT ATUNDU MAYAMBA		2208 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	27	1	SFA	1	\$ 1,017.34	10
42	02-21020-01-280	2212 WILLIAMS DR	CHAD M FOLZ		19855 IBERIS AVE	LAKEVILLE MN 55044	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	28	1	SFA	1	\$ 1,017.34	10
43	02-21020-01-210	2228 WILLIAMS DR	ANTHONY ROUNDTREE		2228 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	21	1	SFA	1	\$ 1,017.34	10
44	02-21020-01-220	2224 WILLIAMS DR	JEAN M MCCLUSKEY		2224 WILLIAMS DR	BURNSVILLE MN 55337-2010	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	22	1	SFA	1	\$ 1,017.34	10
45	02-21020-01-230	2220 WILLIAMS DR	DACOTA ASHTON		2220 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	23	1	SFA	1	\$ 1,017.34	10
46	02-21020-01-240	2216 WILLIAMS DR	DEBORAH M YEE		2216 WILLIAMS DR	BURNSVILLE MN 55337-2010	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	24	1	SFA	1	\$ 1,017.34	10
47	02-21020-01-170	2232 WILLIAMS DR	LAUREN PETERSEN		2232 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	17	1	SFA	1	\$ 1,017.34	10
48	02-21020-01-180	2236 WILLIAMS DR	KRISTINE M FRIDGEN		2236 WILLIAMS DR	BURNSVILLE MN 55337-2010	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	18	1	SFA	1	\$ 1,017.34	10
49	02-21020-01-190	2240 WILLIAMS DR	JOSE DELAHOZ DOMINGUEZ		2240 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	19	1	SFA	1	\$ 1,017.34	10
50	02-21020-01-200	2244 WILLIAMS DR	RYAN VETTER		2244 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	20	1	SFA	1	\$ 1,017.34	10
51	02-21020-01-130	2260 WILLIAMS DR	WILLIAM E BRENNY	MARISA H BRENNY	2260 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	13	1	SFA	1	\$ 1,017.34	10
52	02-21020-01-140	2256 WILLIAMS DR	STEFANIE L FLORES	MARTEL FLORES-CIPRIAN	2256 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	14	1	SFA	1	\$ 1,017.34	10
53	02-21020-01-150	2252 WILLIAMS DR	CAROL ANN NYGAARD		2252 WILLIAMS DR	BURNSVILLE MN 55337-2010	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	15	1	SFA	1	\$ 1,017.34	10
54	02-21020-01-160	2248 WILLIAMS DR	THOMAS R KEEGAN	KATHERYN K KEEGAN	2248 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	16	1	SFA	1	\$ 1,017.34	10
55	02-21020-01-110	2300 WILLIAMS DR	BRIANNE M FLOM	SHANE M BECKER	2300 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	11	1	SFA	1	\$ 1,017.34	10
56	02-21020-01-120	2304 WILLIAMS DR	ROBERT G MOLINE		2304 WILLIAMS DR	BURNSVILLE MN 55337-1901	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	12	1	SFA	1	\$ 1,017.34	10
57	02-21020-01-100	2308 WILLIAMS DR	KAREN A KIESER		2308 WILLIAMS DR	BURNSVILLE MN 55337-1901	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	10	1	SFA	1	\$ 1,017.34	10
58	02-21020-01-090	2312 WILLIAMS DR	MADELINE SHIELDS	BRANDON WELLENS	2312 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	9	1	SFA	1	\$ 1,017.34	10
59	02-21020-01-080	2316 WILLIAMS DR	MATTHEW MILLER		2316 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	8	1	SFA	1	\$ 1,017.34	10
60	02-21020-01-070	2320 WILLIAMS DR	KELLY A MARSCHALL		2320 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	7	1	SFA	1	\$ 1,017.34	10
61	02-21020-01-060	2333 WILLIAMS DR	TERRANCE R KRAETZNER		2333 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	6	1	SFA	1	\$ 1,017.34	10
62	02-21020-01-050	2329 WILLIAMS DR	IGNATIUS ESELE		2329 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	5	1	SFA	1	\$ 1,017.34	10
63	02-21020-01-040	2325 WILLIAMS DR	JULIE K MCBRIDE		2325 OLD COUNTY ROAD 34TH PL	BURNSVILLE MN 55337-2006	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	4	1	SFA	1	\$ 1,017.34	10
64	02-21020-01-030	2321 WILLIAMS DR	MELISSA A MINGO		2321 OLD COUNTY RD 34	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	3	1	SFA	1	\$ 1,017.34	10
65	02-21020-01-010	2313 WILLIAMS DR	GRACE FEUK		2313 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	1	1	SFA	1	\$ 1,017.34	10
66	02-21020-01-020	2317 WILLIAMS DR	CARRIE S TSTE JOHNSON		2317 WILLIAMS DR	BURNSVILLE MN 55337	DONNAYS BURNSVILLE HEIGHTS CIC NO 126	2	1	SFA	1	\$ 1,017.34	10
67	02-01400-25-030	2504 WILLIAMS DR	THOMAS THOMPSON		2504 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
68	02-01400-250-20	2508 WILLIAMS DR	SCOTT & BARBARA K BEESON		2508 WILLIAMS DR	BURNSVILLE MN 55337-1903	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
69	02-01400-250-50	2600 WILLIAMS DR	PAMELA J ANDERSON		2600 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
70	02-01400-250-60	2608 WILLIAMS DR	NICOLE S DACK		2608 WILLIAMS DR	BURNSVILLE MN 55337-1904	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
71	02-01400-250-40	2612 WILLIAMS DR	SAMANTHA R SCHOLZ		2612 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
72	02-01400-250-80	2708 WILLIAMS DR	CAMERON HOPPE		2708 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
73	02-01400-250-70	2712 WILLIAMS DR	DAVID CHRISTENSEN-FINCK	BRITTA CHRISENSEN-FINK	2712 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
74	02-01400-250-90	2720 WILLIAMS DR	THAVY TEP	NAVIN SOK IN	2720 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
75	02-01400-251-00	2808 WILLIAMS DR	ROSALIA GUTIERREZ	EVEREST VARGAS CARDOSO	2808 WILLIAMS DR	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
76	02-01400-251-20	2820 WILLIAMS DR	DONALD W & JUDITH WILLIAMS		2820 WILLIAMS DR	BURNSVILLE MN 55337-1906	SECTION 14 TWN 115 RANGE 21			SFD	1	\$ 2,366.02	15
77	02-15100-010-70	2832 WILLIAMS DR	KELLY L & DANIEL R ARIONUS		2832 WILLIAMS DR	BURNSVILLE MN 55337	BRIAR CREEK ADDITION	7	1	SFD	1	\$ 2,366.02	15

Project 25-105
Williams Dr - Rehabilitation

Other Rate: \$ 34.38

\$ 160,678.45

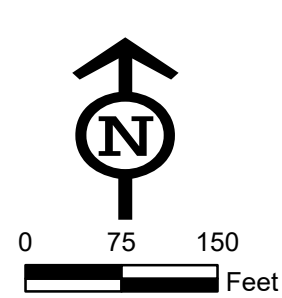
PRELIMINARY ASSESSMENT ROLL
Project 25-A
WILLIAMS DRIVE AREA - RECLAMATION

Single Family Rate:	\$	25.51
Single Family - Attached Per Unit Rate:	\$	2,713.12
Single Family - Detached Per Unit Rate:	\$	1,627.88
Single Family - Attached Special Unit Rate:	\$	8,613.88
Multi-Family Rate	\$	38.26
Multi-Family 30' Rate	\$	31.88
DONNAYS BURNSVILLE HEIGHTS CIC NO 126:		-
Other Rate:	\$	51.01
Other 30' Rate:	\$	34.78
Other 40' Rate:	\$	46.37

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Footage/ Units	Prelim S/A	S/A Term	
29	02-01400-41-042	2309 OLD COUNTY ROAD 34 PL	NICK DOWNS	JOHN FRANCIS JR DOWNS	2309 OLD COUNTY ROAD 34TH PLACE	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD		1 \$	2,713.12	15
30	02-01400-41-041	2305 OLD COUNTY ROAD 34 PL	JAMES & LORETTA M BUCKHOLZ		2305 OLD COUNTY ROAD 34 PL	BURNSVILLE MN 55337-2006	SECTION 14 TWN 115 RANGE 21			SFD		1 \$	2,713.12	15
31	02-32000-01-070	2235 OLD COUNTY ROAD 34 PL	DAKOTA COUNTY CDA		1228 TOWN CENTRE DR	EAGAN MN 55123	HARKINS ADDITION	7	1	SFA		1 \$	1,627.88	10
32	02-32000-01-060	2237 OLD COUNTY ROAD 34 PL	DAKOTA COUNTY CDA		1228 TOWN CENTRE DR	EAGAN MN 55123	HARKINS ADDITION	6	1	SFA		1 \$	1,627.88	10
33	02-32000-01-050	2233 OLD COUNTY ROAD 34 PL	DAKOTA COUNTY CDA		1228 TOWN CENTRE DR	EAGAN MN 55123	HARKINS ADDITION	5	1	SFA		1 \$	1,627.88	10
34	02-32000-01-080	2231 OLD COUNTY ROAD 34 PL	DAKOTA COUNTY CDA		1228 TOWN CENTRE DR	EAGAN MN 55123	HARKINS ADDITION	8	1	SFA		1 \$	1,627.88	10
35	02-32000-01-010	2225 OLD COUNTY ROAD 34 PL	SHAWN P ONEIL		2225 OLD COUNTRY ROAD 34 PL	BURNSVILLE MN 55337-2005	HARKINS ADDITION	1	1	SFA		1 \$	1,627.88	10
36	02-32000-01-040	2227 OLD COUNTY ROAD 34 PL	DANIEL T LEHMANN		2227 OLD COUNTY RD 34 PL	BURNSVILLE MN 55337	HARKINS ADDITION	4	1	SFA		1 \$	1,627.88	10
37	02-32000-01-030	2223 OLD COUNTY ROAD 34 PL	BGL HOLDINGS LLC		13524 MORGAN AVE S	BURNSVILLE MN 55337	HARKINS ADDITION	3	1	SFA		1 \$	1,627.88	10
38	02-32000-01-020	2221 OLD COUNTY ROAD 34 PL	KELLY CARLSON		2221 OLD COUNTY RD 34 PL	BURNSVILLE MN 55337	HARKINS ADDITION	2	1	SFA		1 \$	1,627.88	10
39	02-01400-41-031	2217 OLD COUNTY ROAD 34 PL	BRENDON HEBBLE	KELLI DAVIS	2217 OLD COUNTY ROAD 34 PL	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD		1 \$	2,713.12	15
40	02-01400-20-010	2121 OLD COUNTY ROAD 34 PL	KIMLYN NGUYEN		2121 OLD COUNTY ROAD 34 PL	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SFD		1 \$	2,713.12	15
41	02-19500-01-010	12803 MORGAN AVE S	JUDY A HONGLUND		12803 MORGAN AVE S	BURNSVILLE MN 55337-6617	DAKOTA PLACE	1	1	SFA		1 \$	1,627.88	10
42	02-19500-01-020	12800 MORGAN AVE S	TREVOR WILLIAM HOCKERT		12800 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	2	1	SFA		1 \$	1,627.88	10
43	02-19500-01-030	12802 MORGAN AVE S	YEHUALASHET GASHAW	SINIDU CHERENET TEKLEWOLD	12802 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	3	1	SFA		1 \$	1,627.88	10
44	02-19500-01-040	12805 MORGAN AVE S	LINDA KAY DORN		12805 MORGAN AVE S	BURNSVILLE MN 55337-6617	DAKOTA PLACE	4	1	SFA		1 \$	1,627.88	10
45	02-19500-01-060	12804 MORGAN AVE S	DAVID C SINCLAIR		12804 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	6	1	SFA		1 \$	1,627.88	10
46	02-19500-01-050	12806 MORGAN AVE S	GREGORY MEFFORD		17159 ENCINA PATH	FARMINGTON MN 55024	DAKOTA PLACE	5	1	SFA		1 \$	1,627.88	10
47	02-19500-01-200	12808 MORGAN AVE S	WILLIAM J LANSING		12808 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	20	1	SFA		1 \$	1,627.88	10
48	02-19500-01-190	12810 MORGAN AVE S	MARK E BOWMAN		12810 MORGAN AVE S	BURNSVILLE MN 55337-6639	DAKOTA PLACE	19	1	SFA		1 \$	1,627.88	10
49	02-19500-01-180	12818 MORGAN AVE S	MABINTY S KAMARA		12818 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	18	1	SFA		1 \$	1,627.88	10
50	02-19500-01-170	12816 MORGAN AVE S	YLAM MACH		12816 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	17	1	SFA		1 \$	1,627.88	10
51	02-19500-01-080	12814 MORGAN AVE S	CHRISTIAN R & TARA P LARSON		12814 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	8	1	SFA		1 \$	1,627.88	10
52	02-19500-01-070	12812 MORGAN AVE S	ROBERT & MICHAEL MOLINARI		12812 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	7	1	SFA		1 \$	1,627.88	10
53	02-19500-01-100	12826 MORGAN AVE S	LEONCIO E YGLESIAS	LAURIE A YGLESIAS	12826 MORGAN AVE S	BURNSVILLE MN 55337-6600	DAKOTA PLACE	10	1	SFA		1 \$	1,627.88	10
54	02-19500-01-090	12824 MORGAN AVE S	ROBIN W POLLARD		12824 MORGAN AVE S	BURNSVILLE MN 55337-6600	DAKOTA PLACE	9	1	SFA		1 \$	1,627.88	10
55	02-19500-01-160	12822 MORGAN AVE S	ANGELA D WILSON		12822 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	16	1	SFA		1 \$	1,627.88	10
56	02-19500-01-150	12820 MORGAN AVE S	STEPHEN TAAFFE	HEATHER TOMPKINS	12820 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	15	1	SFA		1 \$	1,627.88	10
57	02-19500-01-140	12834 MORGAN AVE S	MOLLY LIND		12834 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	14	1	SFA		1 \$	1,627.88	10
58	02-19500-01-130	12832 MORGAN AVE S	ROSEMARY G APPIAH		12832 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	13	1	SFA		1 \$	1,627.88	10
59	02-19500-01-120	12830 MORGAN AVE S	SARAH RAE EVERSON		12830 MORGAN AVE S	BURNSVILLE MN 55337	DAKOTA PLACE	12	1	SFA		1 \$	1,627.88	10
60	02-19500-01-110	12828 MORGAN AVE S	MARCIA E LEWIS		12828 MORGAN AVE S	BURNSVILLE MN 55337-6600	DAKOTA PLACE	11	1	SFA		1 \$	1,627.88	10
93	02-41250-00-010	N/A	BURNSVILLE MARKETPLACE II LLC		3120 WOODBURY DR STE 100	WOODBURY MN 55125	KAMI ADDITION	OUTLOT A		O 30' & 40'	538	\$	23,557.35	15
94	02-01400-17-010	2009 OLD COUNTY ROAD 34 PL	GARDNER PROPERTIES OF BURNSVILLE LLC		2009 OLD COUNTY ROAD 34 PL W	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			O 30'	125	\$	4,347.44	15
95	02-41250-01-012	2000 WILLIAMS DR	BURNSVILLE MARKETPLACE BACELINE LLC		511 BROADWAY	DENVER CO 80203	KAMI ADDITION	1	1	O 30'	41	\$	1,425.96	10
96	02-19500-02-012	12750 COUNTY ROAD S	SUPERAMERICA GROUP INC		PO BOX 4900	SCOTTSDALE AZ 85261	DAKOTA PLACE	1	2	O 30'	275	\$	9,564.38	15
97	02-01400-19-015	2000 OLD COUNTY ROAD 34 PL	PUBLIC STORAGE INC		PO BOX 25025	GLENDALE CA 91201-5025	SECTION 14 TWN 115 RANGE 21			O 30' & 40'	961	\$	37,967.67	15
98	02-01400-19-013	2101 HIGHWAY 13 W	EDGE BURNSVILLE LLC		624 WATER ST	PRAIRIE DU SAC WI 53578	SECTION 14 TWN 115 RANGE 21			O 40'	187	\$	8,671.70	15
99	02-01400-18-033	N/A	EDGE BURNSVILLE LLC		624 WATER ST	PRAIRIE DU SAC WI 53578	SECTION 14 TWN 115 RANGE 21			O 40'	47	\$	2,179.52	15
100	02-01400-18-032	2120 OLD COUNTY ROAD 34 PL	U S WEST INC		931 14TH ST	DENVER CO 80202	SECTION 14 TWN 115 RANGE 21			O 30' & 40'	469	\$	19,093.97	15
101	02-01400-400-21	2208 OLD COUNTY ROAD 34 PL	ALMIR & ZUMRA PUCE		2208 OLD COUNTY RD 34 PL	BURNSVILLE MN 55337	SECTION 14 TWN 115 RANGE 21			SF		1 \$	8,613.88	15
103	02-01400-400-10	2316 OLD COUNTY ROAD 34 PL	MARCOS D GOMEZ		7500 180TH ST E	PRIOR LAKE MN 55372	SECTION 14 TWN 115 RANGE 21			SF		1 \$	8,613.88	15
104	02-01400-350-10	2420 OLD COUNTY ROAD 34 PL	EQUITRON HOLDINGS LLC		7401 BUSH LAKE RD	EDINA MN 55435	SECTION 14 TWN 115 RANGE 21			SF		1 \$	8,613.88	15
												\$	189,082.74	

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Path: G:\ENGINEER\Assessments\2020\2025 Assessments\Assessment Rols & Maps\GIS\25-Ad_assessment.mxd

Assessment Frontage
Single Family Detached = 398'
Single Family Attached = 768'
ID's 101, 103, 104 = 1013'
Multi-Family = 337'
Other = 2644'
City of Burnsville Property = 0'
Unowned = 14'
Total = 5174'



Street Widths (Face to Face):
Old Co Rd 34 PI = 30'
Morgan Ave = 40'

Assessment Frontage

— Assessment Frontage

— Street Reclamation Project

City of Burnsville

LandUse

Single Family Attached (0.6)

Single Family, Parks, Open

Multi-Family

Other



City of Burnsville
100 Civic Center Parkway
Burnsville, MN 55337-3817
Phone (952) 895-4400 Fax (952) 895-4404

Date	Revision	Design By	Drawn By	Check By	Proj. No.
		LMV	DDK	JDS	25-A

I hereby certify that this plan, Specification or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota

Date: 7/18/22 Reg. No. 54197

Assessment Map
WILLIAMS DRIVE
Street Reclamation

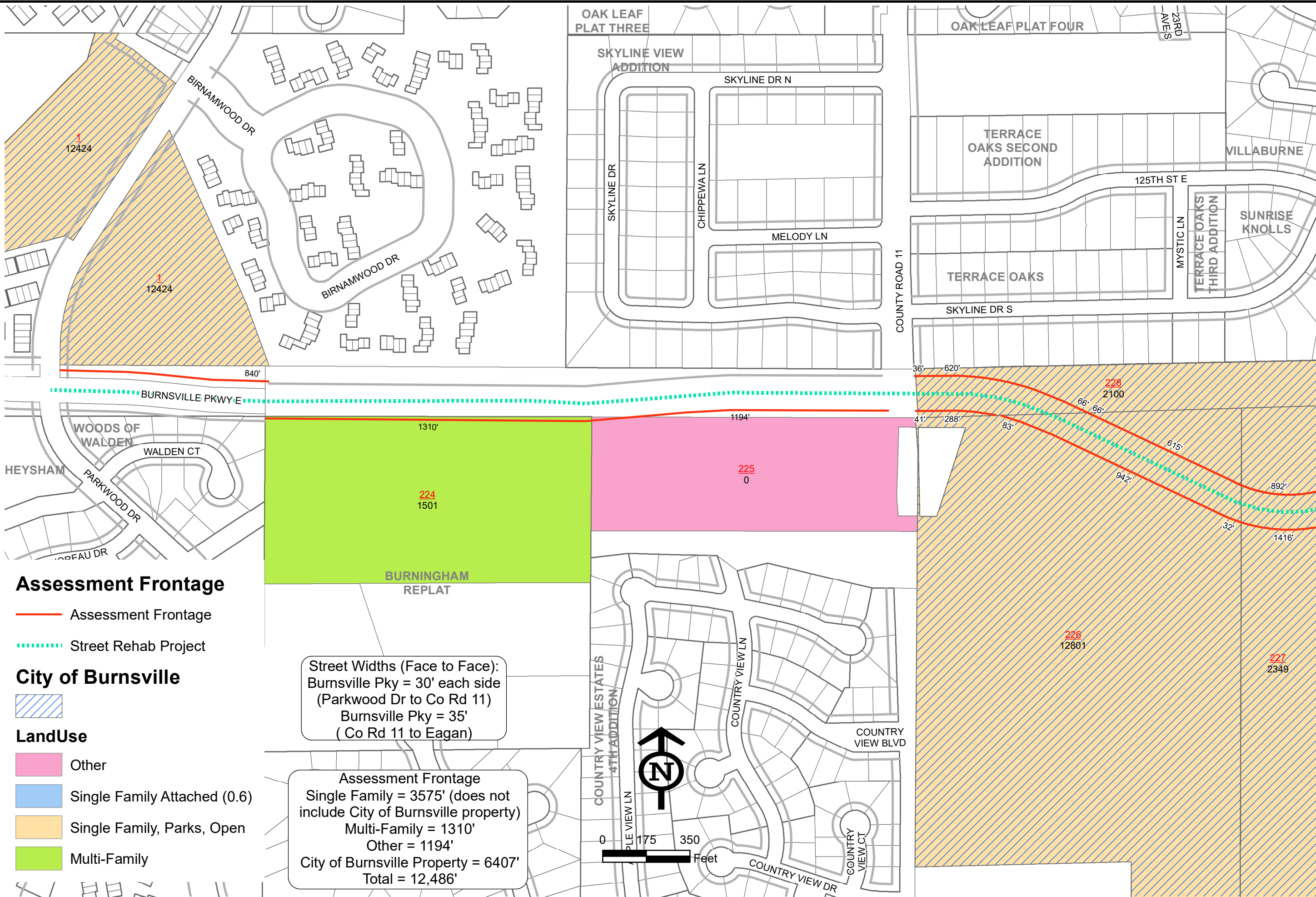
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PRELIMINARY ASSESSMENT ROLL
Project 25-B
BURNSVILLE PARKWAY - REHABILITATION

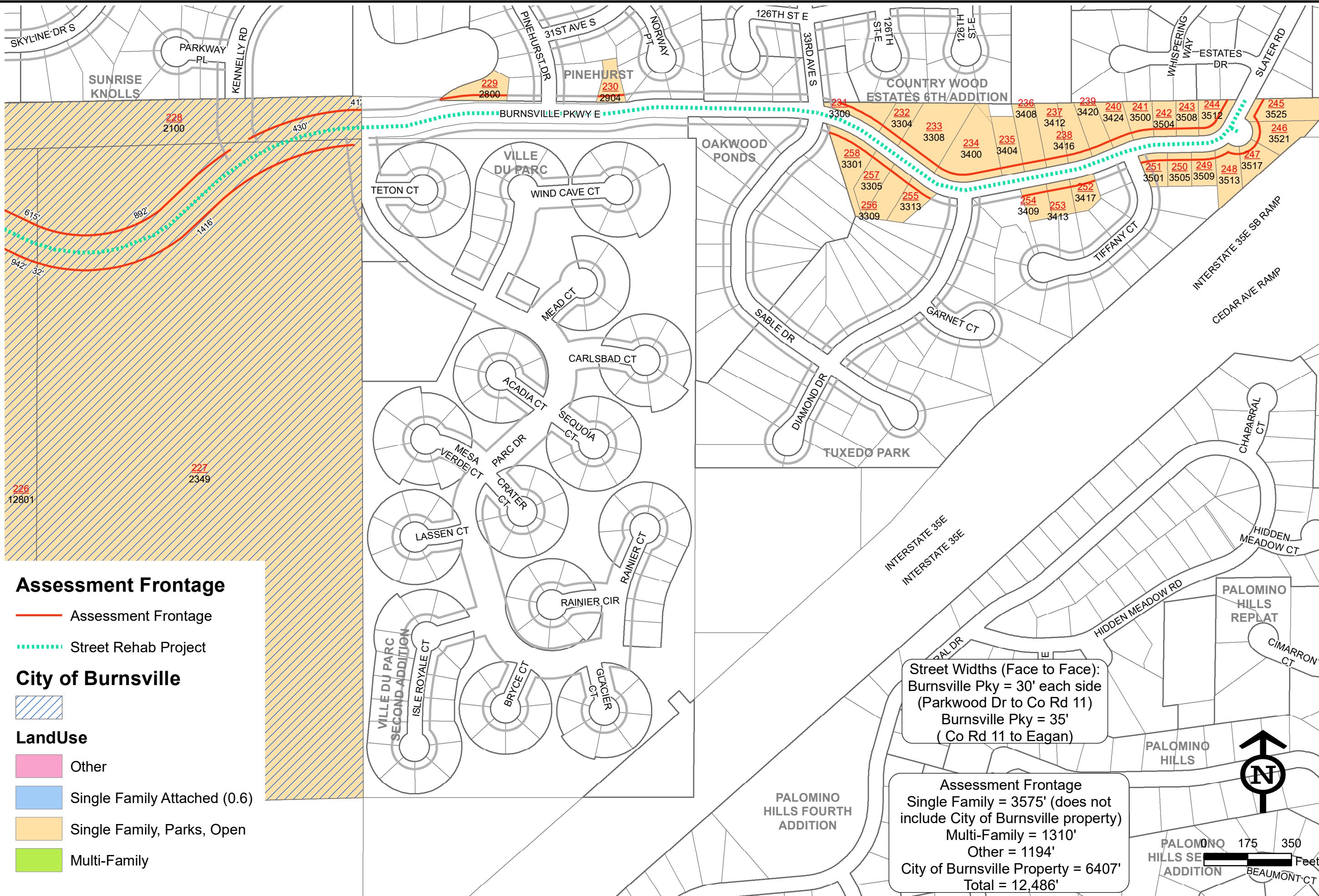
Single Family Rate:	\$	21.49
Single Family - Detached Per Unit Rate:	\$	2,366.02
Multi-Family Rate	\$	27.94
Other Rate:	\$	34.38

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Footage/ Units	Prelim S/A	S/A Term
1	02-03510-52-011	12424 PARKWOOD DR	CITY OF BURNSVILLE		100 CIVIC CENTER PKWY	BURNSVILLE MN 55337-3817	SECTION 35 TWN 27 RANGE 24			SF	840	\$ 18,051.60	15
224	02-15371-01-010	1501 BURNSVILLE PKWY E	BRIDGE WF II MN PARKVUE FLATS LLC		111 SEGO LILY DR E STE 400	SANDY UT 84070	BURNINGHAM REPLAT	1	1	MF	1310	\$ 36,601.40	15
225	02-01700-33-020	N/A	H INC		2004 BURNSVILLE PKWY W	BURNSVILLE MN 55337	SECTION 17 TWN 115 RANGE 20			SF	1194	\$ 10,000.00	15
226	02-01700-07-010	12801 COUNTY ROAD 11	CITY OF BURNSVILLE		100 CIVIC CENTER PKWY	BURNSVILLE MN 55337-3817	SECTION 17 TWN 115 RANGE 20			SF	1386	\$ 29,785.14	15
227	02-01700-01-010	2349 BURNSVILLE PKWY E	CITY OF BURNSVILLE		100 CIVIC CENTER PKWY	BURNSVILLE MN 55337-3817	SECTION 17 TWN 115 RANGE 20			SF	1416	\$ 30,429.84	15
228	02-00800-01-010	2100 BURNSVILLE PKWY E	CITY OF BURNSVILLE		100 CIVIC CENTER PKWY	BURNSVILLE MN 55337-3817	SECTION 8 TWN 115 RANGE 20			SF	3084	\$ 66,275.16	15
229	02-57500-01-200	2800 BURNSVILLE PKWY E	CHRISTOPHER S & CATHERINE TSTES SCHLETTY		2800 BURNSVILLE PKWY E	BURNSVILLE MN 55337	PINEHURST	20	1	SFD	1	\$ 2,366.02	15
230	02-57500-02-140	2904 BURNSVILLE PKWY E	ROBERT T FIELDS	KARI M GLENN FIELDS	2904 BURNSVILLE PKWY E	BURNSVILLE MN 55337-3474	PINEHURST	14	2	SFD	1	\$ 2,366.02	15
231	02-77900-01-140	3300 BURNSVILLE PKWY E	LEAH K THORSTAD	JOHN T THORSTAD	3300 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	14	1	SFD	1	\$ 2,366.02	15
232	02-77900-01-130	3304 BURNSVILLE PKWY E	BRADLEY H & DEBORAH JOHNSON		3304 BURNSVILLE PKWY E	BURNSVILLE MN 55337-3400	TUXEDO PARK	13	1	SFD	1	\$ 2,366.02	15
233	02-77900-01-120	3308 BURNSVILLE PKWY E	KEVIN RYAN	LORI RYAN	3308 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	12	1	SFD	1	\$ 2,366.02	15
234	02-77900-01-110	3400 BURNSVILLE PKWY E	ZACH RAPH	NICHOLAS RAPH	3400 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	11	1	SFD	1	\$ 2,366.02	15
235	02-77900-01-102	3404 BURNSVILLE PKWY E	MAHMOOD & CHARLOTTE AMELI		3404 BURNSVILLE PKWY E	BURNSVILLE MN 55337-3488	TUXEDO PARK	10	1	SFD	1	\$ 2,366.02	15
236	02-77900-01-090	3408 BURNSVILLE PKWY E	CRAIG A & COLLEEN A FUHS		3408 BURNSVILLE PKWY E	BURNSVILLE MN 55337-3488	TUXEDO PARK	9	1	SFD	1	\$ 2,366.02	15
237	02-77900-01-080	3412 BURNSVILLE PKWY E	TIMOTHY ROE	NAOMI EHARA	3412 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	8	1	SFD	1	\$ 2,366.02	15
238	02-77900-01-070	3416 BURNSVILLE PKWY E	RYAN & JENNIFER STERN		3416 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	7	1	SFD	1	\$ 2,366.02	15
239	02-77900-01-060	3420 BURNSVILLE PKWY E	JEROME J TSTE DOFFING		3420 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	6	1	SFD	1	\$ 2,366.02	15
240	02-77900-01-050	3424 BURNSVILLE PKWY E	SUSAN R PROUTY	ART D PROUTY	3424 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	5	1	SFD	1	\$ 2,366.02	15
241	02-77900-01-040	3500 BURNSVILLE PKWY E	SUHAIL ABUHAMED	MAISA ALQADDOUMI	3500 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	4	1	SFD	1	\$ 2,366.02	15
242	02-77900-01-030	3504 BURNSVILLE PKWY E	KADIR W GALGALO	NURIA D KOTO	3504 BURNSVILLE PKWY	BURNSVILLE MN 55337	TUXEDO PARK	3	1	SFD	1	\$ 2,366.02	15
243	02-77900-01-020	3508 BURNSVILLE PKWY E	SARA ELIZABETH BLATZ	BRIAN SCOTT SCHRUPP	3508 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	2	1	SFD	1	\$ 2,366.02	15
244	02-77900-01-010	3512 BURNSVILLE PKWY E	ROBERT J & MICHELLE L BONAHOOM		3512 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	1	1	SFD	1	\$ 2,366.02	15
245	02-77900-02-010	3525 BURNSVILLE PKWY E	SEAN & SHANNON BOYER		3525 BURNSVILLE PKWY W	BURNSVILLE MN 55337	TUXEDO PARK	1	2	SFD	1	\$ 2,366.02	15
246	02-77900-02-020	3521 BURNSVILLE PKWY E	RICHARD PENIX	RACHEL PENIX	3521 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	2	2	SFD	1	\$ 2,366.02	15
247	02-77900-02-030	3517 BURNSVILLE PKWY E	STEPHANIE WICKS		7493 QUAIL CIR S UNIT 912	LITTLETON CO 80127	TUXEDO PARK	3	2	SFD	1	\$ 2,366.02	15
248	02-77900-02-040	3513 BURNSVILLE PKWY E	VINEET K SINHA		3513 BURNSVILLE PKWY E	BURNSVILLE MN 55337-3476	TUXEDO PARK	4	2	SFD	1	\$ 2,366.02	15
249	02-77900-02-050	3509 BURNSVILLE PKWY E	ALLEN D TSTE GLENN	TRACY L TSTEE GLENN	3509 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	5	2	SFD	1	\$ 2,366.02	15
250	02-77900-02-060	3505 BURNSVILLE PKWY E	SHUKRI JAMA	ANISO SHIRE	3505 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	6	2	SFD	1	\$ 2,366.02	15
251	02-77900-02-070	3501 BURNSVILLE PKWY E	CRAIG TSTE GERKIN	KIMBERLY TSTE GERKIN	3501 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	7	2	SFD	1	\$ 2,366.02	15
252	02-77900-02-240	3417 BURNSVILLE PKWY E	JAMES L JR & MARIE E HAGER		3417 BURNSVILLE PKWY E	BURNSVILLE MN 55337-3464	TUXEDO PARK	24	2	SFD	1	\$ 2,366.02	15
253	02-77900-02-250	3413 BURNSVILLE PKWY E	CYNTHIA ANNE ESPANDER	MEGAN ESPANDER	3413 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	25	2	SFD	1	\$ 2,366.02	15
254	02-77900-02-260	3409 BURNSVILLE PKWY E	DAN BOWER		3409 BURNSVILLE PKWY E	BURNSVILLE MN 55337-3464	TUXEDO PARK	26	2	SFD	1	\$ 2,366.02	15
255	02-77900-03-040	3313 BURNSVILLE PKWY E	MARK W BARNHART		3313 BURNSVILLE PKWY E	BURNSVILLE MN 55337	TUXEDO PARK	4	3	SFD	1	\$ 2,366.02	15
256	02-77900-03-030	3309 BURNSVILLE PKWY E	SAGHAR SHAFIAZEHI	MEHRDAD RAFIEI	3309 BURNSVILLE PKWY E	BURNSVILLE MN 55337-3463	TUXEDO PARK	3	3	SFD	1	\$ 2,366.02	15
257	02-77900-03-020	3305 BURNSVILLE PKWY E	DAVID A TSTE COOK	ANNE M TSTE COOK	3305 BURNSVILLE PKWY	BURNSVILLE MN 55337	TUXEDO PARK	2	3	SFD	1	\$ 2,366.02	15
258	02-77900-03-010	3301 BURNSVILLE PKWY E	DARSHAE UNDERWOOD		1807 RIVERWOOD DRIVE	BURNSVILLE MN 55337	TUXEDO PARK	1	3	SFD	1	\$ 2,366.02	15
												\$ 262,123.74	

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PRELIMINARY ASSESSMENT ROLL
Project 25-C
CARRIAGE AREA - RECLAMATIONS

Single Family Rate:	\$25.51
Single Family - Detached Per Unit Rate:	\$ 2,713.12
Single Family - Attached Per Unit Rate:	\$ 1,627.88
Multi-Family Rate	\$38.26
Other Rate:	\$51.01

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	ADDRESS2	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Footage/ Units	Prelim S/A	S/A Term
1	02-16400-01-210	14600 CARRIAGE LN	NAM A BANG O	CHAULOAN T LE	14600 CARRIAGE LN		BURNSVILLE MN 55306-5000	CARRIAGE PLACE	21	1	SFD	1 \$	2,713.12	15
2	02-16400-01-200	14604 CARRIAGE LN	MARIA ISABEL VALERIO LUGO	JESUS GOMEZ VALERIO	14604 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	20	1	SFD	1 \$	2,713.12	15
3	02-16400-01-190	14700 SOUTHPOINTE CURV	AMAL HASSAN		14700 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	19	1	SFD	1 \$	2,713.12	15
4	02-16400-01-185	14704 SOUTHPOINTE CURV	BEN M & HAZEL M CROCKETT		14704 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	18	1	SFD	1 \$	2,713.12	15
5	02-16400-01-184	14611 SOUTHPOINTE CT	GRACE E CARLSON		14611 SOUTHPOINTE CT		BURNSVILLE MN 55306-5080	CARRIAGE PLACE	18	1	SFA	1 \$	1,627.88	10
6	02-16400-01-173	14609 SOUTHPOINTE CT	PAUL R TSTE CARLSON	RICHARD E TSTE CARLSON	14609 SOUTHPOINTE CR		BURNSVILLE MN 55306-5080	CARRIAGE PLACE	17	1	SFA	1 \$	1,627.88	10
7	02-16400-01-162	14607 SOUTHPOINTE CT	AMY JENNIFER FLORANCE		14607 SOUTHPOINTE CT		BURNSVILLE MN 55306	CARRIAGE PLACE	16	1	SFA	1 \$	1,627.88	10
8	02-16400-01-161	14605 SOUTHPOINTE CT	MISTY MONTANEZ		14605 SOUTHPOINTE CT		BURNSVILLE MN 55306	CARRIAGE PLACE	16	1	SFA	1 \$	1,627.88	10
9	02-16400-01-151	14603 SOUTHPOINTE CT	GERALD P & GWEN E BRUZEK		14603 SOUTHPOINTE CT		BURNSVILLE MN 55306	CARRIAGE PLACE	15	1	SFA	1 \$	1,627.88	10
10	02-16400-01-152	14601 SOUTHPOINTE CT	NICHOLAS J LARSON		14601 SOUTHPOINTE CT		BURNSVILLE MN 55306	CARRIAGE PLACE	15	1	SFA	1 \$	1,627.88	10
11	02-16400-01-142	14600 SOUTHPOINTE CT	HASSAN OSMAN	FADUMO A SHEIKH NUR	14600 SOUTHPOINTE CT		BURNSVILLE MN 55306	CARRIAGE PLACE	14	1	SFA	1 \$	1,627.88	10
12	02-16400-01-141	14602 SOUTHPOINTE CT	LUIS XAVIER ALVARADO ROBLES		14602 SOUTHPOINTE CT		BURNSVILLE MN 55306	CARRIAGE PLACE	14	1	SFA	1 \$	1,627.88	10
13	02-16400-01-131	14604 SOUTHPOINTE CT	DANIEL MARIN ALVARADO		14604 SOUTHPOINTE CT		BURNSVILLE MN 55306-5080	CARRIAGE PLACE	13	1	SFA	1 \$	1,627.88	10
14	02-16400-01-132	14606 SOUTHPOINTE CT	DANIEL A MARIN		14606 SOUTHPOINTE CT		BURNSVILLE MN 55306	CARRIAGE PLACE	13	1	SFA	1 \$	1,627.88	10
15	02-16400-01-121	14608 SOUTHPOINTE CT	JAMAL MUSTAFA RASHID		14608 SOUTHPOINTE CT		BURNSVILLE MN 55306	CARRIAGE PLACE	12	1	SFA	1 \$	1,627.88	10
16	02-16400-01-122	14610 SOUTHPOINTE CT	KEISHA JEFFERSON		14610 SOUTH POINT CT		BURNSVILLE MN 55337	CARRIAGE PLACE	12	1	SFA	1 \$	1,627.88	10
17	02-16400-01-111	14612 SOUTHPOINTE CT	MICHAEL CHARLES JR GRESSMAN	ORASA THAMAVONG GRESSMAN	17260 REVERE WAY		PRIOR LAKE MN 55372	CARRIAGE PLACE	11	1	SFA	1 \$	1,627.88	10
18	02-16400-01-112	14614 SOUTHPOINTE CT	JOSHUA & MARIAN OLSON		14614 SOUTHPOINTE CT		BURNSVILLE MN 55306	CARRIAGE PLACE	11	1	SFA	1 \$	1,627.88	10
19	02-71240-01-040	14616 SOUTHPOINTE CT	DANIELA ROBINSON	ERIC ROBINSON	14616 SOUTHPOINTE CT		BURNSVILLE MN 55306	SOUTHPOINTE ADDITION	4	1	SFD	1 \$	2,713.12	15
20	02-71240-01-030	14712 SOUTHPOINTE CURV	ROBERT BURTON		14712 SOUTHPOINTE CURV		BURNSVILLE MN 55306	SOUTHPOINTE ADDITION	3	1	SFD	1 \$	2,713.12	15
21	02-71240-01-020	14716 SOUTHPOINTE CURV	SHIRWA AHMED ABDALLA	FADUMO MOHAMED	14716 SOUTHPOINTE CURV		BURNSVILLE MN 55306	SOUTHPOINTE ADDITION	2	1	SFD	1 \$	2,713.12	15
22	02-71240-01-010	14720 SOUTHPOINTE CURV	JEFFREY S & PAMELA L PETERSON		14720 SOUTH POINTE CURV		BURNSVILLE MN 55306-5066	SOUTHPOINTE ADDITION	1	1	SFD	1 \$	2,713.12	15
23	02-16400-01-070	14724 SOUTHPOINTE CURV	ROBERT P & GWEN M GITS		14724 SOUTHPOINTE CURV		BURNSVILLE MN 55306-5066	CARRIAGE PLACE	7	1	SFD	1 \$	2,713.12	15
24	02-16400-01-060	14800 SOUTHPOINTE CURV	WILLIAM F TSTE CARSTENS	WENDY A TSTE CARSTENS	14800 SOUTHPOINTE CURV		BURNSVILLE MN 55306-5049	CARRIAGE PLACE	6	1	SFD	1 \$	2,713.12	15
25	02-16400-01-050	14804 SOUTHPOINTE CURV	MARTIN G SHERMAN	EMMERLEE A SHERMAN	14804 SOUTHPOINTE CURV		BURNSVILLE MN 55306-5049	CARRIAGE PLACE	5	1	SFD	1 \$	2,713.12	15
26	02-16400-01-040	14808 SOUTHPOINTE CURV	BETTE F M TSTEE FEahr		14808 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	4	1	SFD	1 \$	2,713.12	15
27	02-16400-01-030	14812 SOUTHPOINTE CURV	WILLIAM GILBERT	JENNIFER GILBERT	14812 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	3	1	SFD	1 \$	2,713.12	15
28	02-16400-01-020	14816 SOUTHPOINTE CURV	CHRISTOPHER HOCKADAY	FABIANA HOCKADAY	14816 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	2	1	SFD	1 \$	2,713.12	15
29	02-16400-01-010	14820 SOUTHPOINTE CURV	HEATHER J & BRANTLY A STURGEON		14820 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	1	1	SFD	1 \$	2,713.12	15
30	02-16400-04-010	14927 CARRIAGE PLACE DR	JASON FRANCIS	LAURA FRANCIS	14927 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	1	4	SFD	1 \$	2,713.12	15
31	02-16400-04-020	14923 CARRIAGE PLACE DR	GERALD C & DAVIDA G KUMMER		14923 CARRIAGE PLACE DR		BURNSVILLE MN 55306-5015	CARRIAGE PLACE	2	4	SFD	1 \$	2,713.12	15
32	02-16400-04-030	14919 CARRIAGE PLACE DR	AHMAN LASTER		14919 CARRIAGE PLACE DR		BURNSVILLE MN 55306-5015	CARRIAGE PLACE	3	4	SFD	1 \$	2,713.12	15
33	02-16400-04-040	14915 CARRIAGE PLACE DR	ZOILA ELISA URGILES	JULIO MAURICIO URGILES-INAMAGUA	14915 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	4	4	SFD	1 \$	2,713.12	15
34	02-16400-04-050	14911 CARRIAGE PLACE DR	MAX R BROMAN	BETHANY L BROMAN	14911 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	5	4	SFD	1 \$	2,713.12	15
35	02-16400-04-060	14907 CARRIAGE PLACE DR	KYLE A SENST		14907 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	6	4	SFD	1 \$	2,713.12	15
36	02-16400-02-010	14821 SOUTHPOINTE CURV	IVO A MUKETE	TITANJI EUNICE LUMAH MUKETE	14821 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	1	2	SFD	1 \$	2,713.12	15
37	02-16400-02-020	14817 SOUTHPOINTE CURV	WILLIAM J & DEBRA A STIBAL		14817 SOUTHPOINTE CURV		BURNSVILLE MN 55306-5064	CARRIAGE PLACE	2	2	SFD	1 \$	2,713.12	15
38	02-16400-02-030	14813 SOUTHPOINTE CURV	MICHAEL S & SUSAN K WIESELER		14813 SOUTHPOINTE CURV		BURNSVILLE MN 55306-5064	CARRIAGE PLACE	3	2	SFD	1 \$	2,713.12	15
39	02-16400-02-040	14809 SOUTHPOINTE CURV	JAYME A RODRIGUEZ	NINOSKA E RODRIGUEZ	14809 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	4	2	SFD	1 \$	2,713.12	15
40	02-16400-02-050	14805 SOUTHPOINTE CURV	KURT NIEDERMEIER		14805 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	5	2	SFD	1 \$	2,713.12	15
41	02-16400-02-060	14801 SOUTHPOINTE CURV	PAUL C & HEATHER A DEAN		14801 SOUTHPOINTE CURV		BURNSVILLE MN 55306-5064	CARRIAGE PLACE	6	2	SFD	1 \$	2,713.12	15
42	02-16400-02-070	14721 SOUTHPOINTE CURV	KARIN LEADBETTER	JASON SWICK	14721 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	7	2	SFD	1 \$	2,713.12	15
43	02-16400-02-080	14717 SOUTHPOINTE CURV	AARON GRIGA	ANDREA GRIGA	14717 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	8	2	SFD	1 \$	2,713.12	15
44	02-16400-02-090	14713 SOUTHPOINTE CURV	BRUCE W COTTRELL		14713 SOUTHPOINTE CURV		BURNSVILLE MN 55306-5065	CARRIAGE PLACE	9	2	SFD	1 \$	2,713.12	15
45	02-16400-02-100	14709 SOUTHPOINTE CURV	MEGAN E K & CHRISTOPHER R ERICKSON		14709 SOUTHPOINTE CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	10	2	SFD	1 \$	2,713.12	15
46	02-16400-02-110	14705 SOUTHPOINTE CURV	VIRAPHOL THAMAVONG	PHENKAMON THAMAVONG	14705 SOUTHPOINT CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	11	2	SFD	1 \$	2,713.12	15
47	02-16400-02-120	14616 CARRIAGE LN	JARED WILLABY	GRACE WILLABY	14616 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	12	2	SFD	1 \$	2,713.12	15
48	02-16400-02-130	14620 CARRIAGE LN	JOHN & YVONNE ROBINSON		14620 CARRIAGE LN		BURNSVILLE MN 55306-5068	CARRIAGE PLACE	13	2	SFD	1 \$	2,713.12	15
49	02-16400-02-140	14704 CARRIAGE PLACE DR	JUDITH A TOBIN BELL		14704 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	14	2	SFD	1 \$	2,713.12	15
50	02-16400-02-150	14708 CARRIAGE PLACE DR	HENRIETTA A BRADLEY		14708 CARRIAGE PLACE DR		BURNSVILLE MN 55306-5013	CARRIAGE PLACE	15	2	SFD	1 \$	2,713.12	15
51	02-16400-02-160	14712 CARRIAGE PLACE DR	BRIAN K & JESSIE R NELSON		14712 CARRIAGE PLACE DR		BURNSVILLE MN 55306-5013	CARRIAGE PLACE	16	2	SFD	1 \$	2,713.12	15
52	02-16400-02-170	14716 CARRIAGE PLACE DR	JAMES D & BERNICE BLACKSHER		14716 CARRIAGE PLACE DR		BURNSVILLE MN 55306-5013	CARRIAGE PLACE	17	2	SFD	1 \$	2,713.12	15
53	02-16400-02-180	14800 CARRIAGE PLACE DR	CONSTANCE S LAHAMMER		14800 CARRIAGE PLACE DR		BURNSVILLE MN 55306-5014	CARRIAGE PLACE	18	2	SFD	1 \$	2,713.12	15
54	02-16400-02-190	14804 CARRIAGE PLACE DR	JAMES M HYSONG	JANET E HYSONG	14804 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	19	2	SFD	1 \$	2,713.12	15
55	02-16400-02-200	14808 CARRIAGE PLACE DR	RYAN DUNCAN RAMAKER	FRANCESCA MARIA RAMAKER	14808 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	20	2	SFD	1 \$	2,713.12	15
56	02-16400-02-210	14812 CARRIAGE PLACE DR	WILLIAM G WARD	FLORDEMARIA A WARD	14812 CARRIAGE PLACE DR		BURNSVILLE MN 55306-5014	CARRIAGE PLACE	21	2	SFD	1 \$	2,713.12	15
57	02-16400-04-070	14937 WILLIAMSBURG CURV	ROTH HENG	SAMPHORS SREY	14937 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	7	4	SFD	1 \$	2,713.12	15
58	02-16400-04-080	14933 WILLIAMSBURG CURV	HPA BORROWER 2018-1 ML LLC		120 RIVERSIDE PLZ S STE 2000		CHICAGO IL 60606-1611	CARRIAGE PLACE	8	4	SFD	1 \$	2,713.12	15
59	02-16400-04-090	14929 WILLIAMSBURG CURV	STEVEN R & KELLY T HILL		14929 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5054	CARRIAGE PLACE	9	4	SFD	1 \$	2,713.12	15
60	02-16400-04-100	14925 WILLIAMSBURG CURV	TRUYEN PHAM	MUOI NGUYEN	14925 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	10	4	SFD	1 \$	2,713.12	15
61	02-16400-04-110	14921 WILLIAMSBURG CURV	DAVID R III & PAMELA JAYE		14921 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5054	CARRIAGE PLACE	11	4	SFD	1 \$	2,713.12	15
62	02-16400-04-120	14917 WILLIAMSBURG CURV	PETER & CORINA TASI		14917 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5054	CARRIAGE PLACE	12	4	SFD	1 \$	2,713.12	15
63	02-16400-04-130	14913 WILLIAMSBURG CURV	KAREN A TSTE KOHLER		14913 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	13	4	SFD	1 \$	2,713.12	15
64	02-16400-04-140	14909 WILLIAMSBURG CURV	DAVID ROSS TSTE CHAPLIN	CAROLE LEE NELSON TS CHAPLIN	14909 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5054	CARRIAGE PLACE	14	4	SFD	1 \$	2,713.12	15
65	02-16400-04-150	14905 WILLIAMSBURG CURV	DEAN ROBERT SANDER		14905 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	15	4	SFD	1 \$	2,713.12	15
66	02-16400-04-160	14901 WILLIAMSBURG CURV	DANIEL L & KAREN BAUER		14901 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5054	CARRIAGE PLACE	16	4	SFD	1 \$	2,713.12	15
67	02-16400-04-170	14825 WILLIAMSBURG CURV	RENEE HELEN PORTILLO		14825 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	17	4	SFD	1 \$	2,713.12	15
68	02-16400-04-180	14821 WILLIAMSBURG CURV	MARK S SORENSEN	DEANA G KINAMON	14821 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5055	CARRIAGE PLACE	18	4	SFD	1 \$	2,713.12	15
69	02-16400-041-90	14817 WILLIAMSBURG CURV	CRAIG E & JEANINE A HESSE		14817 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5055	CARRIAGE PLACE	19	4	SFD	1 \$	2,713.12	15
70	02-16400-042-00	14813 WILLIAMSBURG CURV	JUSTIN P & JULIA A JENKINS		14813 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	20	4	SFD	1 \$	2,713.12	15

PRELIMINARY ASSESSMENT ROLL
Project 25-C
CARRIAGE AREA - RECLAMATIONS

Single Family Rate:	\$25.51
Single Family - Detached Per Unit Rate:	\$ 2,713.12
Single Family - Attached Per Unit Rate:	\$ 1,627.88
Multi-Family Rate	\$38.26
Other Rate:	\$51.01

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	ADDRESS2	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Footage/ Units	Prelim S/A	S/A Term
71	02-16400-042-10	14809 WILLIAMSBURG CURV	WM J & MARLENE MCCAUSLAND		14809 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5055	CARRIAGE PLACE	21	4	SFD	1 \$	2,713.12	15
72	02-16400-042-20	14805 WILLIAMSBURG CURV	THOMAS J TSTE DINEEN	JEAN M TSTE DINEEN	14805 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5055	CARRIAGE PLACE	22	4	SFD	1 \$	2,713.12	15
73	02-16400-042-30	14801 WILLIAMSBURG CURV	MARK W & DIANE K BETTES		14801 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5055	CARRIAGE PLACE	23	4	SFD	1 \$	2,713.12	15
74	02-16400-030-10	14801 CARRIAGE PLACE DR	JAMES T BALDER	CHRISTINE M BALDER	14801 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	1	3	SFD	1 \$	2,713.12	15
75	02-16400-030-20	14805 CARRIAGE PLACE DR	ANDREW FRAME	ELIZABETH FRAME	14805 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	2	3	SFD	1 \$	2,713.12	15
76	02-16400-030-30	14809 CARRIAGE PLACE DR	BRETT & MARGARET BALSAM		14809 CARRIAGE PLACE DR		BURNSVILLE MN 55306	CARRIAGE PLACE	3	3	SFD	1 \$	2,713.12	15
77	02-16400-030-40	14916 WILLIAMSBURG CURV	ANTHONY RUDDOCK		14916 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	4	3	SFD	1 \$	2,713.12	15
78	02-16400-030-50	14912 WILLIAMSBURG CURV	ELIZABETH RICHARDSON		14912 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	5	3	SFD	1 \$	2,713.12	15
79	02-16400-030-60	14908 WILLIAMSBURG CURV	SCOTT D & LISA M CLOSE		14908 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	6	3	SFD	1 \$	2,713.12	15
80	02-16400-030-70	14904 WILLIAMSBURG CURV	ALICIA R LINSCHIED	MICHAEL ERICKSON	14904 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	7	3	SFD	1 \$	2,713.12	15
81	02-16400-030-80	14900 WILLIAMSBURG CURV	RICHARD P & STACEY M HAND		14900 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5045	CARRIAGE PLACE	8	3	SFD	1 \$	2,713.12	15
82	02-16400-030-90	14812 WILLIAMSBURG CURV	TODD & AMY WICK		14812 WILLIAMSBURG CURV		BURNSVILLE MN 55306-5044	CARRIAGE PLACE	9	3	SFD	1 \$	2,713.12	15
83	02-16400-031-00	14808 WILLIAMSBURG CURV	CORDELL & CAROLYN L KLUG		14808 WILLIAMBURG CURV		BURNSVILLE MN 55306-5044	CARRIAGE PLACE	10	3	SFD	1 \$	2,713.12	15
84	02-16400-031-10	14804 WILLIAMSBURG CURV	JOHN MATTHEW REESE		14804 WILLIAMSBURG CURV		BURNSVILLE MN 55306	CARRIAGE PLACE	11	3	SFD	1 \$	2,713.12	15
85	02-16400-042-40	11 CARRIAGE LN	KELLIE MARIE THOMAS		11 CARRIAGE LN		BURNSVILLE MN 55306-5084	CARRIAGE PLACE	24	4	SFD	1 \$	2,713.12	15
86	02-16400-042-50	21 CARRIAGE LN	ROGER L & MARILYN J TSTES BALDWIN		21 CARRIAGE PL		BURNSVILLE MN 55306-5084	CARRIAGE PLACE	25	4	SFD	1 \$	2,713.12	15
87	02-16400-042-60	31 CARRIAGE LN	KENNETH S & LORI J TERHAAR		31 CARRIAGE LN		BURNSVILLE MN 55306-5084	CARRIAGE PLACE	26	4	SFD	1 \$	2,713.12	15
88	02-16400-042-70	41 CARRIAGE LN	KARIN HULBERT-COURTEAU		41 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	27	4	SFD	1 \$	2,713.12	15
89	02-16400-042-80	51 CARRIAGE LN	CHRISTINA CASH	BROCK CASH	51 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	28	4	SFD	1 \$	2,713.12	15
90	02-16401-020-10	61 CARRIAGE LN	EDWARD M & MAUREEN J GABRYSH		61 CARRIAGE LN		BURNSVILLE MN 55306-5084	CARRIAGE PLACE 2ND ADD	1	2	SFD	1 \$	2,713.12	15
91	02-16401-020-20	71 CARRIAGE LN	MARK COLE	ANN LIBERTY	71 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	2	2	SFD	1 \$	2,713.12	15
92	02-16401-020-30	81 CARRIAGE LN	SAMUEL THOMAS ANDREWS		81 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	3	2	SFD	1 \$	2,713.12	15
93	02-16401-020-40	101 CARRIAGE LN	SIMON JAMES HOEY-BURNS	SHANNON CALDWELL CARAWAY	101 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	4	2	SFD	1 \$	2,713.12	15
94	02-16401-020-50	111 CARRIAGE LN	STEVEN L & JULIE A BUSCH		111 CARRIAGE LN		BURNSVILLE MN 55306-5078	CARRIAGE PLACE 2ND ADD	5	2	SFD	1 \$	2,713.12	15
95	02-16401-020-60	121 CARRIAGE LN	ABDIFATAH FARAH		121 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	6	2	SFD	1 \$	2,713.12	15
96	02-16401-020-70	131 CARRIAGE LN	DANIEL JOSEPH SCHNEIDER		131 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	7	2	SFD	1 \$	2,713.12	15
97	02-16401-020-80	141 CARRIAGE LN	MICHAEL R & K S MCGUIGGAN		141 CARRIAGE LN		BURNSVILLE MN 55306-5078	CARRIAGE PLACE 2ND ADD	8	2	SFD	1 \$	2,713.12	15
98	02-16401-020-90	151 CARRIAGE LN	JESSE D & ROBIN J F CARLSON		151 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	9	2	SFD	1 \$	2,713.12	15
99	02-16402-020-10	161 CARRIAGE LN	JANICE A ILIOFF		161 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	1	2	SFD	1 \$	2,713.12	15
100	02-16402-020-20	171 CARRIAGE LN	ISSAM AL ARAJI		171 CARRIAGE LANE		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	2	2	SFD	1 \$	2,713.12	15
101	02-16402-020-30	181 CARRIAGE LN	PIERRE A & JANET MCKEAN		181 CARRIAGE LN		BURNSVILLE MN 55306-5078	CARRIAGE PLACE 3RD ADD	3	2	SFD	1 \$	2,713.12	15
102	02-16402-020-40	191 CARRIAGE LN	TERRANCE F & NANCY L MCCALL		191 CARRIAGE LN		BURNSVILLE MN 55306-5078	CARRIAGE PLACE 3RD ADD	4	2	SFD	1 \$	2,713.12	15
103	02-16402-020-50	201 CARRIAGE LN	DEBORAH K MCCOMBS		201 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	5	2	SFD	1 \$	2,713.12	15
104	02-16402-020-60	211 CARRIAGE LN	RANDI WILSON		211 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	6	2	SFD	1 \$	2,713.12	15
105	02-16402-020-70	221 CARRIAGE LN	BENJAMIN BOETTCHER	LACIE BOETTCHER	221 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	7	2	SFD	1 \$	2,713.12	15
106	02-16402-020-80	231 CARRIAGE LN	DANNY W & DEBORAH E COLGAN		231 CARRIAGE LN		BURNSVILLE MN 55306-6444	CARRIAGE PLACE 3RD ADD	8	2	SFD	1 \$	2,713.12	15
107	02-16402-020-90	241 CARRIAGE LN	DAMARIS E KINLAW		241 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	9	2	SFD	1 \$	2,713.12	15
108	02-16402-021-00	251 CARRIAGE LN	RYAN O & KINNICKIA C SHEA		251 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	10	2	SFD	1 \$	2,713.12	15
109	02-16402-021-10	261 CARRIAGE LN	DANIEL TSTE DANGERFIELD		261 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	11	2	SFD	1 \$	2,713.12	15
110	02-36501-020-10	271 CARRIAGE LN	MITCHELL J & KARLA M MONSON		271 CARRIAGE LN		BURNSVILLE MN 55306	INTERLACHEN SOUTH PHASE II	1	2	SFD	1 \$	2,713.12	15
111	02-36501-000-10	N/A	CITY OF BURNSVILLE		100 CIVIC CENTER PKWY		BURNSVILLE MN 55337-3817	INTERLACHEN SOUTH PHASE II	A		SF	149 \$	3,800.99	15
112	02-16402-010-90	250 CARRIAGE LN	HANS N LANGENFELD		250 CARRIAGE LANE		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	9	1	SFD	1 \$	2,713.12	15
113	02-16402-010-80	240 CARRIAGE LN	EDWARD GRINBERG	MARIA CLAUDIA BENAROS	240 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	8	1	SFD	1 \$	2,713.12	15
114	02-16402-010-70	230 CARRIAGE LN	PHILIP N & JILL M BEAR		230 CARRIAGE LN		BURNSVILLE MN 55306-6443	CARRIAGE PLACE 3RD ADD	7	1	SFD	1 \$	2,713.12	15
115	02-16402-010-60	220 CARRIAGE LN	ROBERT J & MAUREEN C PHILLIPS		220 CARRIAGE LN		BURNSVILLE MN 55306-6443	CARRIAGE PLACE 3RD ADD	6	1	SFD	1 \$	2,713.12	15
116	02-16402-010-50	210 CARRIAGE LN	WILLIAM ROBERTS	BARBARA ROBERTS	210 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	5	1	SFD	1 \$	2,713.12	15
117	02-16402-010-40	200 CARRIAGE LN	DANA E LYNN		200 CARRIAGE LN		BURNSVILLE MN 55306-6443	CARRIAGE PLACE 3RD ADD	4	1	SFD	1 \$	2,713.12	15
118	02-16402-010-30	170 CARRIAGE LN	ANDREW J TSTE ERICKSON	LANA S TSTE ERICKSON	170 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	3	1	SFD	1 \$	2,713.12	15
119	02-16402-010-20	160 CARRIAGE LN	BRAD N & SHARYN M MATHIOWETZ		160 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 3RD ADD	2	1	SFD	1 \$	2,713.12	15
120	02-16402-010-10	150 CARRIAGE LN	ANDREW B & MARIE Z TSTES BROWN		150 CARRIAGE LN		BURNSVILLE MN 55306-5082	CARRIAGE PLACE 3RD ADD	1	1	SFD	1 \$	2,713.12	15
121	02-16401-010-90	140 CARRIAGE LN	SACHIN & ALYSSA M ISAACS		140 CARRIAGE LN		BURNSVILLE MN 55306-5082	CARRIAGE PLACE 2ND ADD	9	1	SFD	1 \$	2,713.12	15
122	02-16401-010-80	130 CARRIAGE LN	PATRICIA L TSTE WEEDING		130 CARRIAGE LN		BURNSVILLE MN 55306-5082	CARRIAGE PLACE 2ND ADD	8	1	SFD	1 \$	2,713.12	15
123	02-16401-010-70	120 CARRIAGE LN	PETER JOHNSON	NICOLI JOHNSON	120 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	7	1	SFD	1 \$	2,713.12	15
124	02-16401-010-60	110 CARRIAGE LN	KIMBERLY JOHNSON	MICHAEL SWANSON	110 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	6	1	SFD	1 \$	2,713.12	15
125	02-16401-010-50	100 CARRIAGE LN	JOHN V & JOAN B HARVEY		100 CARRIAGE LN		BURNSVILLE MN 55306-5082	CARRIAGE PLACE 2ND ADD	5	1	SFD	1 \$	2,713.12	15
126	02-16401-010-40	80 CARRIAGE LN	BRIAN & CARLA J FILREIS		80 CARRIAGE LN		BURNSVILLE MN 55306-5083	CARRIAGE PLACE 2ND ADD	4	1	SFD	1 \$	2,713.12	15
127	02-16401-010-30	70 CARRIAGE LN	JANICE M TSTE DEMASTER	BERNARD H TSTE DEMASTER	70 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	3	1	SFD	1 \$	2,713.12	15
128	02-16401-010-20	60 CARRIAGE LN	TODD BUCHWALD	STACEY PURVIS-BUCHWALD	60 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE 2ND ADD	2	1	SFD	1 \$	2,713.12	15
129	02-16401-010-10	50 CARRIAGE LN	ERIC & DARCI ANNE LUNDSTEN		50 CARRIAGE LN		BURNSVILLE MN 55306-5083	CARRIAGE PLACE 2ND ADD	1	1	SFD	1 \$	2,713.12	15
130	02-16400-051-10	40 CARRIAGE LN	SUZANNE SNIDER		40 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	11	5	SFD	1 \$	2,713.12	15
131	02-16400-051-00	30 CARRIAGE LN	TESS EASON	AARON EASON	30 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	10	5	SFD	1 \$	2,713.12	15
132	02-16400-050-90	20 CARRIAGE LN	WILLIAM C & MARY J CUBBAGE		20 CARRIAGE LN		BURNSVILLE MN 55306-5083	CARRIAGE PLACE	9	5	SFD	1 \$	2,713.12	15
133	02-16400-050-80	10 CARRIAGE LN	TERRENCE W OLSTAD	RACHEL L OLSTAD	10 CARRIAGE LN		BURNSVILLE MN 55306-5083	CARRIAGE PLACE	8	5	SFD	1 \$	2,713.12	15
134	02-16400-050-70	14625 CARRIAGE LN	PAUL HENRY & CARA DIPAOLO ROSEN		14625 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	7	5	SFD	1 \$	2,713.12	15
135	02-16400-050-60	14621 CARRIAGE LN	MATTHEW & GINGER LEMKE		14621 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	6	5	SFD	1 \$	2,713.12	15
136	02-16400-050-50	14617 CARRIAGE LN	JENNIFER SWANSON	MICHAEL SWANSON	14617 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	5	5	SFD	1 \$	2,713.12	15
137	02-16400-050-40	14613 CARRIAGE LN	THOMAS & CLAUDIA DAVID		14613 CARRIAGE LN		BURNSVILLE MN 55306-5079	CARRIAGE PLACE	4	5	SFD	1 \$	2,713.12	15
138	02-16400-050-30	14609 CARRIAGE LN	GREGORY T & RENEE J JEFFERSON		14609 CARRIAGE LN		BURNSVILLE MN 55306-5079	CARRIAGE PLACE	3	5	SFD	1 \$	2,713.12	15
139	02-16400-050-20	14605 CARRIAGE LN	ADAM & JAMIE BARTON		14605 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	2	5	SFD	1 \$	2,713.12	15
140	02-16400-050-10	14601 CARRIAGE LN	FRANCES C CIERNIA		14601 CARRIAGE LN		BURNSVILLE MN 55306	CARRIAGE PLACE	1	5	SFD	1 \$	2,713.12	15

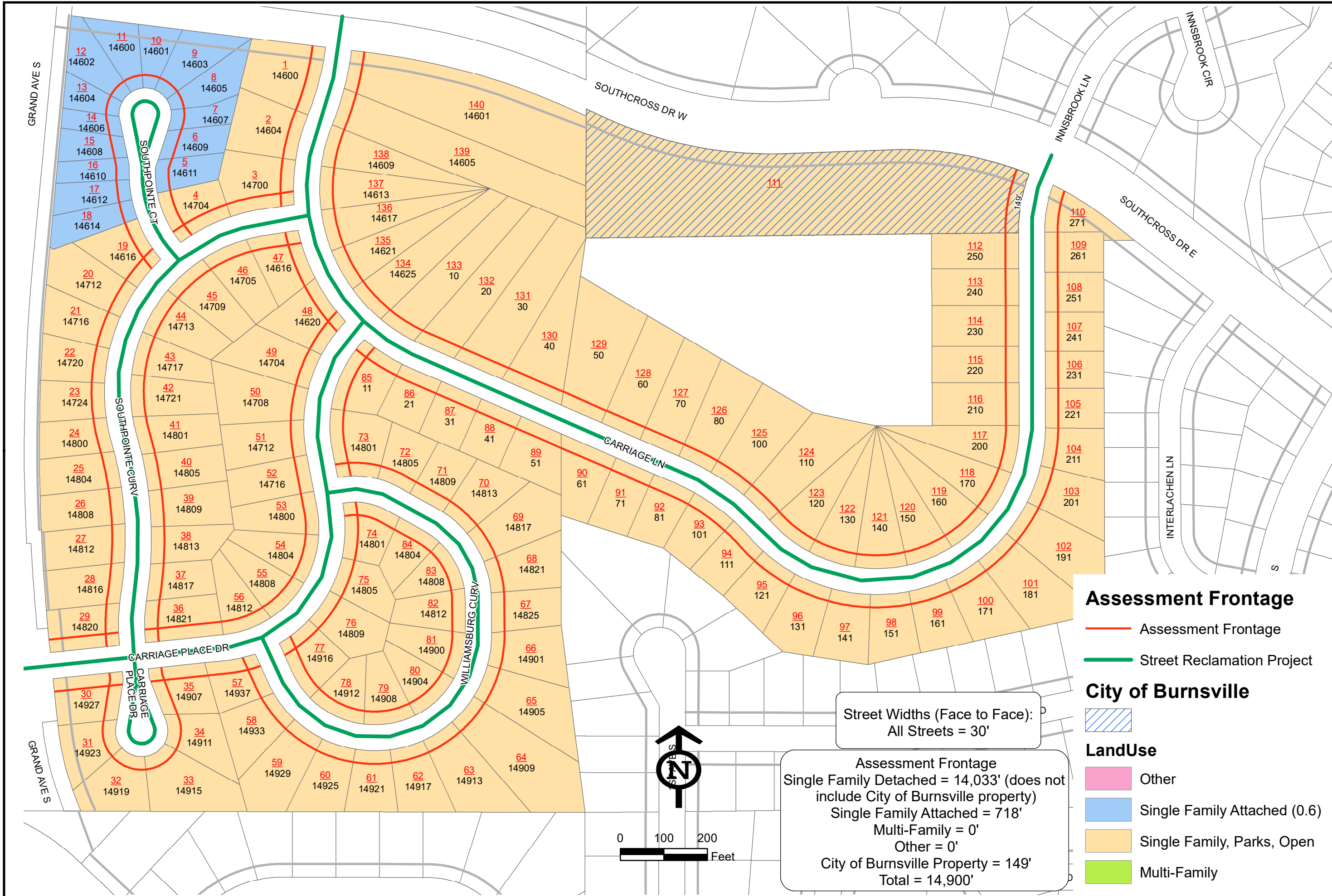
PRELIMINARY ASSESSMENT ROLL

Project 25-C

CARRIAGE AREA - RECLAMATIONS

Single Family Rate:		\$25.51
Single Family - Detached Per Unit Rate:		\$ 2,713.12
Single Family - Attached Per Unit Rate:		\$ 1,627.88
Multi-Family Rate		\$38.26
Other Rate:		\$51.01

Lot	Block	S/A Rate	Footage/ Units	Prelim S/A	S/A Term
				<u>\$ 365,731.31</u>	



PRELIMINARY ASSESSMENT ROLL
Project 25-D
RIO LOMA AREA - RECLAMATION

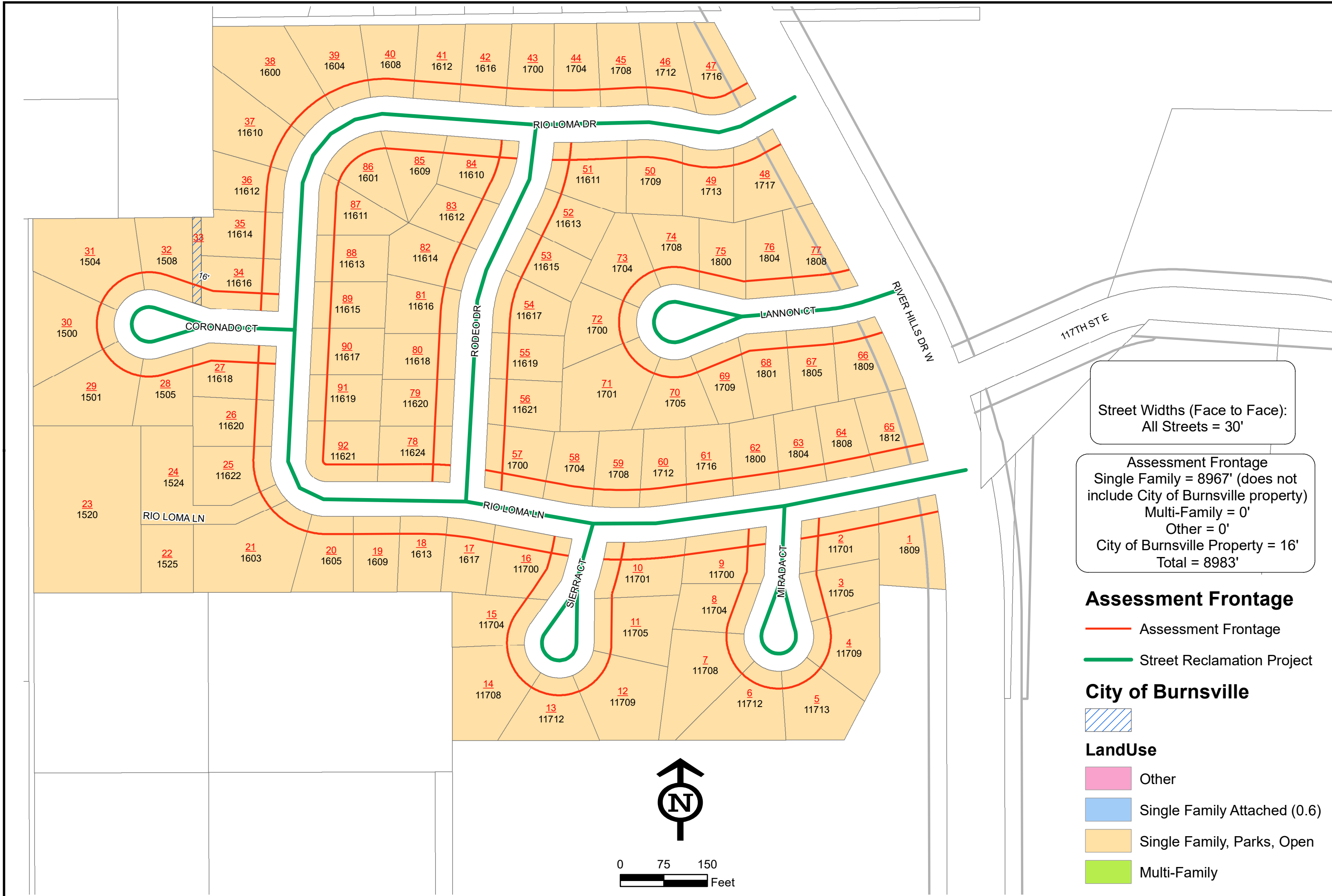
Single Family Rate: \$ 25.51
Single Family - Detached Per Unit Rate: \$ 2,713.12
Multi-Family Rate: \$ 38.26
Other Rate: \$ 51.01

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Footage/U nits	Prelim S/A	S/A Term
1	02-64040-03-240	1809 RIO LOMA LN	JON L & CHRISTINA N ZWART		1809 RIO LOMA LN	BURNSVILLE MN 55337-7208	RIO LOMA	24	3 SFD		1 \$	2,713.12	15
2	02-64040-03-230	11701 MIRADA CT	GILBERT J & BECKY E DIADOO		11701 MIRADA CT	BURNSVILLE MN 55337-1273	RIO LOMA	23	3 SFD		1 \$	2,713.12	15
3	02-64040-03-220	11705 MIRADA CT	WAYNE A & MARJORIE E STIFTER		11705 MIRADA CT	BURNSVILLE MN 55337-1273	RIO LOMA	22	3 SFD		1 \$	2,713.12	15
4	02-64040-03-210	11709 MIRADA CT	VIVIANO HERNANDEZ CORTES		11709 MIRADA CT	BURNSVILLE MN 55337	RIO LOMA	21	3 SFD		1 \$	2,713.12	15
5	02-64040-03-200	11713 MIRADA CT	ALFONSO SEVILLA	MARK A LICHTENWALTER	11713 MIRADA CT	BURNSVILLE MN 55337	RIO LOMA	20	3 SFD		1 \$	2,713.12	15
6	02-64040-03-190	11712 MIRADA CT	HPA II BORROWER 2021-1 LLC		120 RIVERSIDE PLZ S STE 2000	CHICAGO IL 60606	RIO LOMA	19	3 SFD		1 \$	2,713.12	15
7	02-64040-03-180	11708 MIRADA CT	ROBERT W & VICKI A CASEY		11708 MIRADA CT	BURNSVILLE MN 55337-1273	RIO LOMA	18	3 SFD		1 \$	2,713.12	15
8	02-64040-03-170	11704 MIRADA CT	IH3 PROPERTY MINNESOTA LP		1717 MAIN ST STE 2000	DALLAS TX 75201	RIO LOMA	17	3 SFD		1 \$	2,713.12	15
9	02-64040-03-160	11700 MIRADA CT	CHUCK J & WENDY S BARTA		11700 MIRADA CT	BURNSVILLE MN 55337	RIO LOMA	16	3 SFD		1 \$	2,713.12	15
10	02-64040-03-150	11701 SIERRA CT	KEVIN M & KAREN L RASCOP		11701 SIERRA CT	BURNSVILLE MN 55337-1274	RIO LOMA	15	3 SFD		1 \$	2,713.12	15
11	02-64040-03-140	11705 SIERRA CT	ELIZABETH L LANGE	JUSTIN MILLER	11705 SIERRA CT	BURNSVILLE MN 55337	RIO LOMA	14	3 SFD		1 \$	2,713.12	15
12	02-64040-03-130	11709 SIERRA CT	VERNON & DONNA WHITTAKER		11709 SIERRA CT	BURNSVILLE MN 55337	RIO LOMA	13	3 SFD		1 \$	2,713.12	15
13	02-64040-03-120	11712 SIERRA CT	GLYNN N & CINDY A DILLAHUNTY		13790 ELKHART RD	APPLE VALLEY MN 55124	RIO LOMA	12	3 SFD		1 \$	2,713.12	15
14	02-64040-03-110	11708 SIERRA CT	MOSES DEBESAY		11708 SIERRA CT	BURNSVILLE MN 55337	RIO LOMA	11	3 SFD		1 \$	2,713.12	15
15	02-64040-03-100	11704 SIERRA CT	REXFORD L & MARY B SMITH		11704 SIERRA CT	BURNSVILLE MN 55337-1274	RIO LOMA	10	3 SFD		1 \$	2,713.12	15
16	02-64040-03-090	11700 SIERRA CT	ANDREW KLUGHERZ		11700 SIERRA CT	BURNSVILLE MN 55337	RIO LOMA	9	3 SFD		1 \$	2,713.12	15
17	02-64040-03-080	1617 RIO LOMA LN	ISAAC PLUEGER	AIMEE PLUEGER	1617 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	8	3 SFD		1 \$	2,713.12	15
18	02-64040-03-070	1613 RIO LOMA LN	ERIC RAMIREZ	MARIA GUADALUPE GOME ACOSTA	1613 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	7	3 SFD		1 \$	2,713.12	15
19	02-64040-03-060	1609 RIO LOMA LN	SFR ACQUISITIONS 2 LLC		120 RIVERSIDE PLZ S STE 2000	CHICAGO IL 60606	RIO LOMA	6	3 SFD		1 \$	2,713.12	15
20	02-64040-03-050	1605 RIO LOMA LN	SOUKSAVANH CHINTHACHANMA		1605 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	5	3 SFD		1 \$	2,713.12	15
21	02-64040-03-040	1603 RIO LOMA LN	MICHAEL A & JUDITH A ERICKSON		1603 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	4	3 SFD		1 \$	2,713.12	15
22	02-64040-03-025	1525 RIO LOMA LN	RENAE L WILLIAMS		1525 RIO LOMA LN	BURNSVILLE MN 55337-7245	RIO LOMA	2	3 SFD		1 \$	2,713.12	15
23	02-64040-03-013	1520 RIO LOMA LN	STEVEN R & KATHLEEN WATSON		1520 RIO LOMA LN	BURNSVILLE MN 55337-7244	RIO LOMA	1	3 SFD		1 \$	2,713.12	15
24	02-64040-03-024	1524 RIO LOMA LN	JONATHAN BARNABAS KEMP	BATH-SHEBA SARAH KEMP	1524 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	2	3 SFD		1 \$	2,713.12	15
25	02-64040-03-030	11622 RIO LOMA LN	CHANGLING ZHOU		5020 EAGAN CIR	LONGMONT CO 80503	RIO LOMA	3	3 SFD		1 \$	2,713.12	15
26	02-64041-01-070	11620 RIO LOMA LN	THOMAS C & SUZANNE M BUDDE		11620 RIO LOMAS LN	BURNSVILLE MN 55337-7210	RIO LOMA 2ND ADDITION	7	1 SFD		1 \$	2,713.12	15
27	02-64041-01-060	11618 RIO LOMA LN	JOHN THOMPSON		11618 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	6	1 SFD		1 \$	2,713.12	15
28	02-64041-01-050	1505 CORONADO CT	JOEL W & LORI A FISCHER		1505 CORONADO CT	BURNSVILLE MN 55337-1288	RIO LOMA 2ND ADDITION	5	1 SFD		1 \$	2,713.12	15
29	02-64041-01-040	1501 CORONADO CT	MELISSA M PATES	MICHAEL J SORENSSEN	1501 CORONADO CT	BURNSVILLE MN 55337-1288	RIO LOMA 2ND ADDITION	4	1 SFD		1 \$	2,713.12	15
30	02-64041-01-030	1500 CORONADO CT	HAL T PALMER	JANE M PALMER	1500 CORONADO CT	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	3	1 SFD		1 \$	2,713.12	15
31	02-64041-01-020	1504 CORONADO CT	JULIE C HELLMAN		1504 CORONADO CT	BURNSVILLE MN 55337-1288	RIO LOMA 2ND ADDITION	2	1 SFD		1 \$	2,713.12	15
32	02-64041-01-010	1508 CORONADO CT	QUI TRANG	PHUONG THAO THI NGUYEN	1508 CORONADO CT	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	1	1 SFD		1 \$	2,713.12	15
33	02-64041-00-010	N/A	CITY OF BURNSVILLE		100 CIVIC CENTER PKWY	BURNSVILLE MN 55337-3817	RIO LOMA 2ND ADDITION	A	SF		16 \$	408.16	5
34	02-64041-02-140	11616 RIO LOMA LN	YADIRA JAIMEZ RIVERA	MARCO ANTONIO RODRIGUEZ	11616 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	14	2 SFD		1 \$	2,713.12	15
35	02-64041-02-130	11614 RIO LOMA LN	STEPHEN BA NGUYEN		11614 RIO LOMA LN	BURNSVILLE MN 55337-7209	RIO LOMA 2ND ADDITION	13	2 SFD		1 \$	2,713.12	15
36	02-64041-02-120	11612 RIO LOMA LN	LONG LE		11612 RIO LOMA LN	BURNSVILLE MN 55337-7209	RIO LOMA 2ND ADDITION	12	2 SFD		1 \$	2,713.12	15
37	02-64041-02-110	11610 RIO LOMA LN	AUGUST R & JULIE A KLEIN		11610 RIO LOMA LN	BURNSVILLE MN 55337-7209	RIO LOMA 2ND ADDITION	11	2 SFD		1 \$	2,713.12	15
38	02-64041-02-100	1600 RIO LOMA DR	GETNET BEKELE	LEWUTNESH ALEMU	1600 RIO LOMA DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	10	2 SFD		1 \$	2,713.12	15
39	02-64041-02-090	1604 RIO LOMA DR	MARY J FINDORFF		1604 RIO LOMA DR	BURNSVILLE MN 55337-1293	RIO LOMA 2ND ADDITION	9	2 SFD		1 \$	2,713.12	15
40	02-64041-02-080	1608 RIO LOMA DR	LEONARD ALAN & CAROL SUFKA		1608 RIO LOMA DR	BURNSVILLE MN 55337-1293	RIO LOMA 2ND ADDITION	8	2 SFD		1 \$	2,713.12	15
41	02-64041-02-070	1612 RIO LOMA DR	TWIN CITIES HABITAT FOR HUMANITY INC		1954 UNIVERSITY AVE	SAINT PAUL MN 55104	RIO LOMA 2ND ADDITION	7	2 SFD		1 \$	2,713.12	15
42	02-64041-02-060	1616 RIO LOMA DR	DAVID J IMGRUND		1616 RIO LOMA DR	BURNSVILLE MN 55337-1293	RIO LOMA 2ND ADDITION	6	2 SFD		1 \$	2,713.12	15
43	02-64041-02-050	1700 RIO LOMA DR	CHARLES D & BARBARA FLANDERS		1700 RIO LOMA DR	BURNSVILLE MN 55337-7201	RIO LOMA 2ND ADDITION	5	2 SFD		1 \$	2,713.12	15
44	02-64041-02-040	1704 RIO LOMA DR	KIM THU T BUI	HOANG HUY LE	1704 RIO LOMA DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	4	2 SFD		1 \$	2,713.12	15
45	02-64041-02-030	1708 RIO LOMA DR	MAX D TARREL		1708 RIO LOMA DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	3	2 SFD		1 \$	2,713.12	15
46	02-64041-02-020	1712 RIO LOMA DR	RUTH R RUDD	TIM A HUBBLE	1712 RIO LOMA DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	2	2 SFD		1 \$	2,713.12	15
47	02-64041-02-010	1716 RIO LOMA DR	AMY MARIE ERICKSON	NICHOLAS CHENEY	1716 RIO LOMA DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	1	2 SFD		1 \$	2,713.12	15
48	02-64041-04-010	1717 RIO LOMA DR	PARK AVENUE LOFTS LLC		510 1ST AVE N STE 600	MINNEAPOLIS MN 55403	RIO LOMA 2ND ADDITION	1	4 SFD		1 \$	2,713.12	15
49	02-64041-04-020	1713 RIO LOMA DR	HUNG YEN T & LONG T NGUYEN		1713 RIO LOMA DR	BURNSVILLE MN 55337-7202	RIO LOMA 2ND ADDITION	2	4 SFD		1 \$	2,713.12	15
50	02-64041-04-030	1709 RIO LOMA DR	WAQAR MALIK		1709 RIO LOMA DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	3	4 SFD		1 \$	2,713.12	15
51	02-64041-04-040	11611 RODEO DR	JULIA KATHERINE HUDSON		11611 RODEO DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	4	4 SFD		1 \$	2,713.12	15
52	02-64041-04-050	11613 RODEO DR	DAVID F & MARY E BREWSTER		11613 RODEO DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	5	4 SFD		1 \$	2,713.12	15
53	02-64041-04-060	11615 RODEO DR	UBAH S ABSHIR		11615 RODEO DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	6	4 SFD		1 \$	2,713.12	15
54	02-64041-04-070	11617 RODEO DR	JOSEPH ALBRECHT	DANIELLE ALBRECHT	11617 RODEO DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	7	4 SFD		1 \$	2,713.12	15
55	02-64041-04-080	11619 RODEO DR	BRIAN KENT TSTE JOHNSON	WENDY LYNN TSTE JOHNSON	11619 RODEO DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	8	4 SFD		1 \$	2,713.12	15
56	02-64041-04-090	11621 RODEO DR	MATTHEW R & RENEE B HELMEN		11621 RODEO DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	9	4 SFD		1 \$	2,713.12	15
57	02-64040-01-210	1700 RIO LOMA LN	THOMAS C & LYNN M WALTERS		1700 RIO LOMA LN	BURNSVILLE MN 55337-7205	RIO LOMA	21	1 SFD		1 \$	2,713.12	15
58	02-64040-01-200	1704 RIO LOMA LN	ENDALEMAW T HAILU	SABA A TIKU	1704 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	20	1 SFD		1 \$	2,713.12	15
59	02-64040-01-190	1708 RIO LOMA LN	SURAY IBRYAM	AMANDA BROCK	1708 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	19	1 SFD		1 \$	2,713.12	15
60	02-64040-01-180	1712 RIO LOMA LN	GREG SANTOORJIAN		1712 RIO LOMA LN	BURNSVILLE MN 55337-7205	RIO LOMA	18	1 SFD		1 \$	2,713.12	15
61	02-64040-01-170	1716 RIO LOMA LN	CHERYL MARIE PATTERSON		1716 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	17	1 SFD		1 \$	2,713.12	15
62	02-64040-01-160	1800 RIO LOMA LN	KHADAR YASSIN	SAFIO MURSAL	1800 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	16	1 SFD		1 \$	2,713.12	15
63	02-64040-01-150	1804 RIO LOMA LN	SHAO F & KIN C CHIU		1804 RIO LOMA LN	BURNSVILLE MN 55337-7200	RIO LOMA	15	1 SFD		1 \$	2,713.12	15
64	02-64040-01-140	1808 RIO LOMA LN	ABDULRAHMAN SAED NALAYEH	ABDULAZIZ ABDULRAHMA NALAYEH	1808 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	14	1 SFD		1 \$	2,713.12	15
65	02-64040-01-130	1812 RIO LOMA LN	MATTHEW MILLS		1812 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	13	1 SFD		1 \$	2,713.12	15
66	02-64040-01-120	1809 LANNON CT	JONATHAN W CRIPE		1809 LANNON CT	BURNSVILLE MN 55337	RIO LOMA	12	1 SFD		1 \$	2,713.12	15

PRELIMINARY ASSESSMENT ROLL
Project 25-D
RIO LOMA AREA - RECLAMATION

Single Family Rate:	\$	25.51
Single Family - Detached Per Unit Rate:	\$	2,713.12
Multi-Family Rate	\$	38.26
Other Rate:	\$	51.01

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Footage/U nits	Prelim S/A	S/A Term
67	02-64040-01-110	1805 LANNON CT	JOHN HARRY LACKEY		1805 LANNON CT	BURNSVILLE MN 55337	RIO LOMA	11	1	SFD	1	\$ 2,713.12	15
68	02-64040-01-100	1801 LANNON CT	QUYNH BORKENHAGEN		1801 LANNON CT	BURNSVILLE MN 55337	RIO LOMA	10	1	SFD	1	\$ 2,713.12	15
69	02-64040-010-90	1709 LANNON CT	SANJAY C RAVAL		1709 LANNON CT	BURNSVILLE MN 55337-1287	RIO LOMA	9	1	SFD	1	\$ 2,713.12	15
70	02-64040-010-80	1705 LANNON CT	JEREMY DRAKE		1705 LANNON CT	BURNSVILLE MN 55337	RIO LOMA	8	1	SFD	1	\$ 2,713.12	15
71	02-64040-010-70	1701 LANNON CT	JOSEPH W & DEBRA A SODOMKA		1701 LANNON CT	BURNSVILLE MN 55337-1287	RIO LOMA	7	1	SFD	1	\$ 2,713.12	15
72	02-64040-010-60	1700 LANNON CT	PHILLIP & AMBER EHRLICH		1700 LANNON CT	BURNSVILLE MN 55337	RIO LOMA	6	1	SFD	1	\$ 2,713.12	15
73	02-64040-010-50	1704 LANNON CT	DORIE TSERING	TSERING C WACHUNGTSANG	1704 LANNON CT	BURNSVILLE MN 55337	RIO LOMA	5	1	SFD	1	\$ 2,713.12	15
74	02-64040-010-40	1708 LANNON CT	ISAAK TJADEN		1708 LANNON CT	BURNSVILLE MN 55337	RIO LOMA	4	1	SFD	1	\$ 2,713.12	15
75	02-64040-010-30	1800 LANNON CT	MICHAEL J COULTER		1800 LANNON CT	BURNSVILLE MN 55337-1291	RIO LOMA	3	1	SFD	1	\$ 2,713.12	15
76	02-64040-010-20	1804 LANNON CT	AMIIN HARUN		1804 LANNON CT	BURNSVILLE MN 55337	RIO LOMA	2	1	SFD	1	\$ 2,713.12	15
77	02-64040-010-10	1808 LANNON CT	DOUGLAS S TSTE LONG		1808 LANNON CT	BURNSVILLE MN 55337-1291	RIO LOMA	1	1	SFD	1	\$ 2,713.12	15
78	02-64040-020-10	11624 RODEO DR	VINCENT J WORKMAN	ANDREA J LARSON	11624 RODEO DR	BURNSVILLE MN 55337	RIO LOMA	1	2	SFD	1	\$ 2,713.12	15
79	02-64041-030-60	11620 RODEO DR	DOUGLAS A & JULIE T LARSEN		11620 RODEO DR	BURNSVILLE MN 55337-1289	RIO LOMA 2ND ADDITION	6	3	SFD	1	\$ 2,713.12	15
80	02-64041-030-50	11618 RODEO DR	JEFFREY S & JANA JOHNSON		11618 RODEO DR	BURNSVILLE MN 55337-1289	RIO LOMA 2ND ADDITION	5	3	SFD	1	\$ 2,713.12	15
81	02-64041-030-40	11616 RODEO DR	BARRY L TSTE HANNINE	SHIRLEY M TSTE HANNINE	11616 RODEO DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	4	3	SFD	1	\$ 2,713.12	15
82	02-64041-030-30	11614 RODEO DR	SCOTT R & MARY S CROWELL		11614 RODEO DR	BURNSVILLE MN 55337-1289	RIO LOMA 2ND ADDITION	3	3	SFD	1	\$ 2,713.12	15
83	02-64041-030-20	11612 RODEO DR	JOSEPH & A SHANNON KAHNK		11612 RODEO DR	BURNSVILLE MN 55337-1289	RIO LOMA 2ND ADDITION	2	3	SFD	1	\$ 2,713.12	15
84	02-64041-030-10	11610 RODEO DR	SEMYON & MARGARITA VAYNBERG		11610 RODEO DR	BURNSVILLE MN 55337-1289	RIO LOMA 2ND ADDITION	1	3	SFD	1	\$ 2,713.12	15
85	02-64041-031-30	1609 RIO LOMA DR	ROGER & BARBARA WAHL		1609 RIO LOMA DR	BURNSVILLE MN 55337-1298	RIO LOMA 2ND ADDITION	13	3	SFD	1	\$ 2,713.12	15
86	02-64041-031-20	1601 RIO LOMA DR	DELANE HENNING		1601 RIO LOMA DR	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	12	3	SFD	1	\$ 2,713.12	15
87	02-64041-031-10	11611 RIO LOMA LN	IYAD M ATTAALLAH		11611 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	11	3	SFD	1	\$ 2,713.12	15
88	02-64041-031-00	11613 RIO LOMA LN	GREGORY S FOX		11613 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	10	3	SFD	1	\$ 2,713.12	15
89	02-64041-030-90	11615 RIO LOMA LN	TODD RICHARD SANDERS		11615 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	9	3	SFD	1	\$ 2,713.12	15
90	02-64041-030-80	11617 RIO LOMA LN	TIMOTHY J KRAUSE		11617 RIO LOMA LN	BURNSVILLE MN 55337-7211	RIO LOMA 2ND ADDITION	8	3	SFD	1	\$ 2,713.12	15
91	02-64041-030-70	11619 RIO LOMA LN	TRINH HUYNH		11619 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA 2ND ADDITION	7	3	SFD	1	\$ 2,713.12	15
92	02-64040-020-20	11621 RIO LOMA LN	JOHN HELLKAMP	AIMEE SUE HELLKAMP	11621 RIO LOMA LN	BURNSVILLE MN 55337	RIO LOMA	2	2	SFD	1	\$ 2,713.12	15
												<u>\$ 247,302.08</u>	



PRELIMINARY ASSESSMENT ROLL
Project 25-E
Southwest Burnsville - Reclamation

Single Family - Detached Per Unit Rate: Jnit Rate: \$ 8,227.14

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Units	Deferred Units	Prelim S/A	S/A Term	Deferred S/A
1	02-53600-02-030	15501 CREST DR	KENNETH H & JANET L TSTES PETERSON		15501 CREST DR	BURNSVILLE MN 55306	OAKLAUN	3	2			1	\$ 8,227.14	15	\$0.00
2	02-53600-02-040	15513 CREST DR	GRANT & ASHLEY SWANSON		15513 CREST DR	BURNSVILLE MN 55306	OAKLAUN	4	2			1	\$ 8,227.14	15	\$0.00
3	02-53600-02-050	15517 CREST DR	DEREK TRITES		50594 RIVER RD	RUSH CITY MN 55069	OAKLAUN	5	2			1	\$ 8,227.14	15	\$0.00
4	02-03500-95-010	15720 CREST DR	STEPHEN L SWANTZ		15720 CREST DR	BURNSVILLE MN 55306-5325	SECTION 35 TWN 115 RANGE 21					1	\$ 8,227.14	15	\$0.00
5	02-53601-01-030	15700 CREST DR	ADAM & STACY SORSVEEN		15700 CREST DR	BURNSVILLE MN 55306-5325	OAKLAUN 2ND ADDITION	3	1			1	\$ 8,227.14	15	\$0.00
6	02-53601-01-020	15620 CREST DR	BRANDON LEO & ABBY ELISABETH BLAIR		15620 CREST DR	BURNSVILLE MN 55306	OAKLAUN 2ND ADDITION	2	1			1	\$ 8,227.14	15	\$0.00
7	02-53601-01-010	15600 CREST DR	RUSTY DOUGLAS		15600 CREST DR	BURNSVILLE MN 55306	OAKLAUN 2ND ADDITION	1	1			1	\$ 8,227.14	15	\$0.00
8	02-53600-02-051	15516 CREST DR	BRIAN R BODE		15516 CREST DR	BURNSVILLE MN 55306	OAKLAUN	5	2			1	\$ 8,227.14	15	\$0.00
9	02-53600-02-071	15514 CREST DR	HAYDEN JAMES MILAND	AYRIEL ELIZABETH MILAND	15514 CREST DR	BURNSVILLE MN 55306	OAKLAUN	7	2			1	\$ 8,227.14	15	\$0.00
10	02-53600-02-090	15500 CREST DR	MITCHELL T FABER		15500 CREST DR	BURNSVILLE MN 55306-5324	OAKLAUN	9	2			1	\$ 8,227.14	15	\$0.00
11	02-53600-01-020	15503 CREST DR	ANA TORRES		15503 CREST DR	BURNSVILLE MN 55306	OAKLAUN	2	1			1	\$ 8,227.14	15	\$0.00
12	02-53600-01-042	15507 CREST DR	THOMAS ALAN BLACKMAN		15507 CREST DR	BURNSVILLE MN 55306-5389	OAKLAUN	4	1			1	\$ 8,227.14	15	\$0.00
13	02-53600-01-062	15515 CREST DR	GARY S OLSON		15515 CREST DR	BURNSVILLE MN 55306-5389	OAKLAUN	6	1			1	\$ 8,227.14	15	\$0.00
14	02-53600-01-064	15508 CREST DR	KAREN L INGRAM	JEAN L MARSTON	15508 CREST DR	BURNSVILLE MN 55306-5388	OAKLAUN	6	1			1	\$ 8,227.14	15	\$0.00
15	02-53600-01-010		DONALD F & SANDRA J FREDERICK		2188 JAMES ST	EAGAN MN 55122	OAKLAUN	1	1			1	\$ 8,227.14	15	\$0.00
16	02-54300-01-070	2421 ALCANA LN	JIAMING FU		2421 ALCANA LN	BURNSVILLE MN 55306	OMEARA ADDITION	7	1			1	\$ 8,227.14	15	\$0.00
17	02-54300-01-080	2401 ALCANA LN	MICHAEL L & KATINA K SCHROEDER		2401 ALCANA LN	BURNSVILLE MN 55306-5315	OMEARA ADDITION	8	1			1	\$ 8,227.14	15	\$0.00
18	02-54300-01-090	2301 ALCANA LN	JOSHUA VERCAUTREN	DANIELLE VERCAUTREN	2301 ALCANA LN	BURNSVILLE MN 55306	OMEARA ADDITION	9	1			1	\$ 8,227.14	15	\$0.00
19	02-13500-00-030	2205 ALCANA LN	PATRICK W & JULIE K WOLF		2205 ALCANA LN	BURNSVILLE MN 55306-5342	FIRST ADD TO BENHAM INV CO MN ORCHARD	3				1	\$ 8,227.14	15	\$0.00
20	02-67500-01-010	2111 ALCANA LN	THOMAS D & SUSAN HASSINGER		2111 ALCANA LN	BURNSVILLE MN 55306-5344	SHEPHERD ADDITION	1	1			1	\$ 8,227.14	15	\$0.00
21	02-67500-01-020	2109 ALCANA LN	JON M & MICHELLE SONTAG		2109 ALCANA LN	BURNSVILLE MN 55306	SHEPHERD ADDITION	2	1			1	\$ 8,227.14	15	\$0.00
22	02-13550-00-292	1950 ALCANA LN	ANDREW & MEGAN LAMB		1950 ALCANA LN	BURNSVILLE MN 55306	BENHAM INV COMPANYS MINNESOTA ORCH/	29				1	\$ 8,227.14	15	\$0.00
23	02-13550-00-291		ALEKSANDR & KATRINA SAVCHENKO		2000 ALCANA LN	BURNSVILLE MN 55306	BENHAM INV COMPANYS MINNESOTA ORCH/	29				1	\$ 8,227.14	15	\$0.00
24	02-13550-00-260	2000 ALCANA LN	ALEKSANDR & KATRINA SAVCHENKO		2000 ALCANA LN	BURNSVILLE MN 55306	BENHAM INV COMPANYS MINNESOTA ORCH/	26				1	\$ 8,227.14	15	\$0.00
25	02-13550-00-281	2110 ALCANA LN	STEVEN M & JEAN L HAGGERTY		2110 ALCANA LN	BURNSVILLE MN 55306	BENHAM INV COMPANYS MINNESOTA ORCH/	28				1	\$ 8,227.14	15	\$0.00
26	02-13550-00-282	2200 ALCANA LN	WILLIAM B ASHLEY	RACHAEL I ASHLEY	2200 ALCANA LN	BURNSVILLE MN 55306-5343	BENHAM INV COMPANYS MINNESOTA ORCH/	28				1	\$ 8,227.14	15	\$0.00
27	02-03500-49-040	2300 ALCANA LN	DAVID WILLIAM DRECHSLER		2300 ALCANA LN	BURNSVILLE MN 55306	SECTION 35 TWN 115 RANGE 21					1	\$ 8,227.14	15	\$0.00
28	02-03500-49-030	2400 ALCANA LN	JEFFREY J ZRUCKY		2400 ALCANA LN	BURNSVILLE MN 55306-5316	SECTION 35 TWN 115 RANGE 21					1	\$ 8,227.14	15	\$0.00
29	02-03500-49-020	2404 ALCANA LN	NELS & KIMBERLY SPENCE		2404 ALCANA LN	BURNSVILLE MN 55306	SECTION 35 TWN 115 RANGE 21					1	\$ 8,227.14	15	\$0.00
30	02-03500-49-010		BRUCE W & DANIEL R SCHMITT		2600 VALLEY VIEW DRIVE	BURNSVILLE MN 55306	SECTION 35 TWN 115 RANGE 21					1	\$ 8,227.14	15	\$0.00
31	02-84650-01-010	2700 WREN CT	BRANDON THOMPSON		2700 WREN CT	BURNSVILLE MN 55306	WOOD KNOLL ESTATES	1	1			1	\$ 8,227.14	15	\$0.00
32	02-84650-01-020	2704 WREN CT	MIKHAIL BAKAY	IGNAT BAKAY	2704 WREN CT	BURNSVILLE MN 55306	WOOD KNOLL ESTATES	2	1			1	\$ 8,227.14	15	\$0.00
33	02-84650-01-030	2708 WREN CT	BRIAN N & GRETCHEN K CARLSON		2708 WREN CT	BURNSVILLE MN 55306-5250	WOOD KNOLL ESTATES	3	1			1	\$ 8,227.14	15	\$0.00
34	02-84650-01-040	15401 ORIOLE CT	LORI LEE CROTTY		15401 ORIOLE CT	BURNSVILLE MN 55306	WOOD KNOLL ESTATES	4	1			1	\$ 8,227.14	15	\$0.00
35	02-13502-00-152	2704 VALLEY VIEW RD	ANDREA D & THOMAS D STONE		2704 VALLEY VIEW RD	BURNSVILLE MN 55306	THIRD ADD TO BENHAM INV CO MN ORCHAR	15				1	\$ 8,227.14	15	\$0.00
36	02-13502-00-140	2708 VALLEY VIEW RD	THOMAS J STONE	ANDREA D STONE	2708 VALLEY VIEW RD	BURNSVILLE MN 55337	THIRD ADD TO BENHAM INV CO MN ORCHAR	14				1	\$ 8,227.14	15	\$0.00
37	02-84650-01-050		ANDREA STONE		2704 VALLEY VIEW RD	BURNSVILLE MN 55306	WOOD KNOLL ESTATES	5	1			1	\$ 8,227.14	15	\$0.00
38	02-84650-01-060	15350 ORIOLE CT	RICHARD G TSTE SAYTHER	BARBARA J TSTE SAYTHER	15350 ORIOLE CT	BURNSVILLE MN 55306-5291	WOOD KNOLL ESTATES	6	1			1	\$ 8,227.14	15	\$0.00
39	02-84650-01-071	15360 ORIOLE CT	STEPHEN G & DENISE L TOUSLEY		15360 ORIOLE CT	BURNSVILLE MN 55306-5291	WOOD KNOLL ESTATES	7	1			1	\$ 8,227.14	15	\$0.00
40	02-84650-01-080	15400 ORIOLE CT	ANDREW D & STACEY STAUBLE		15400 ORIOLE CT	BURNSVILLE MN 55306	WOOD KNOLL ESTATES	8	1			1	\$ 8,227.14	15	\$0.00
41	02-84650-01-090	15420 ORIOLE CT	JAMES H BEZAT	VONDA MOE BEZAT	15420 ORIOLE CT	BURNSVILLE MN 55306-5200	WOOD KNOLL ESTATES	9	1			1	\$ 8,227.14	15	\$0.00
42	02-84650-01-100	15430 ORIOLE CT	SHARON M SCHWARTZ		15430 ORIOLE CT	BURNSVILLE MN 55306	WOOD KNOLL ESTATES	10	1			1	\$ 8,227.14	15	\$0.00
43	02-13500-00-081	2950 VALLEY VIEW RD	JULIE K SEYMOUR	KEVIN T JACOBSON	2950 VALLEY VIEW RD	BURNSVILLE MN 55306	FIRST ADD TO BENHAM INV CO MN ORCHARD	8				1	\$ 8,227.14	15	\$0.00
44	02-13500-00-082	2960 VALLEY VIEW RD	AARON P & MELISSA L BERGLUND		2960 VALLEY VIEW RD	BURNSVILLE MN 55306	FIRST ADD TO BENHAM INV CO MN ORCHARD	8				1	\$ 8,227.14	15	\$0.00
45	02-13500-00-091	3000 VALLEY VIEW RD	JEFFREY A DAHLEN	HEATHER M MATTSON	3000 VALLEY VIEW RD	BURNSVILLE MN 55306-5234	FIRST ADD TO BENHAM INV CO MN ORCHARD	9				1	\$ 8,227.14	15	\$0.00
46	02-13500-00-090	3012 VALLEY VIEW RD	DAVID VRCHOTA	KRISTEN LEACH	3012 VALLEY VIEW RD	BURNSVILLE MN 55306	FIRST ADD TO BENHAM INV CO MN ORCHARD	9				1	\$ 8,227.14	15	\$0.00
47	02-84650-01-072	N/A	DAVID VRCHOTA	KRISTEN LEACH	3012 VALLEY VIEW RD	BURNSVILLE MN 55306	WOOD KNOLL ESTATES	7	1			1	\$ 8,227.14	15	\$0.00
48	02-13502-00-100	3108 VALLEY VIEW RD	MINHAS PROPERTIES LLC		1020 MILDRED DR	MINNEAPOLIS MN 55423	THIRD ADD TO BENHAM INV CO MN ORCHAR	10				1	\$ 8,227.14	15	\$0.00
49	02-13500-00-102	3051 VALLEY VIEW RD	ROBERT S & JOAN L GONZALEZ		3051 VALLEY VIEW RD	BURNSVILLE MN 55306	FIRST ADD TO BENHAM INV CO MN ORCHARD	10				1	\$ 8,227.14	15	\$0.00
50	02-66250-01-010	2821 VALLEY VIEW RD	RICHARD & PEGGY EICHENLAUB		2821 VALLEY VIEW RD	BURNSVILLE MN 55306-5232	R SAVARD ADDITION	1	1			1	\$ 8,227.14	15	\$0.00
51	02-81200-01-010	2809 VALLEY VIEW RD	LISA D JANS		2809 VALLEY VIEW RD	BURNSVILLE MN 55306-5232	VALLEY ADDITION	1	1			1	\$ 8,227.14	15	\$0.00
52	02-81200-01-020	2805 VALLEY LN	DAVID JOHN TSTE SMITH		2805 VALLEY LN	BURNSVILLE MN 55306-5265	VALLEY ADDITION	2	1			1	\$ 8,227.14	15	\$0.00
53	02-81200-01-040	2801 VALLEY VIEW RD	KELLY R RYSTROM	CHRISTINE M NOVOTNY	2801 VALLEY VIEW RD	BURNSVILLE MN 55306-5232	VALLEY ADDITION	4	1			1	\$ 8,227.14	15	\$0.00
54	02-81200-01-030	2721 VALLEY VIEW RD	DAVID JOHN TSTE SMITH		2805 VALLEY LANE	BURNSVILLE MN 55306-5265	VALLEY ADDITION	3	1			1	\$ 8,227.14	15	\$0.00
55	02-13500-00-142	2605 VALLEY VIEW RD	SCOTT J OPLAND		2605 VALLEY VIEW RD	BURNSVILLE MN 55306	FIRST ADD TO BENHAM INV CO MN ORCHARD	13				1	1 \$ 8,227.14	15	\$8,227.14
56	02-13500-00-143	2595 VALLEY VIEW RD	SCOTT OPLAND		2605 VALLEY VIEW RD	BURNSVILLE MN 55306	FIRST ADD TO BENHAM INV CO MN ORCHARD	14				1	\$ 8,227.14	15	\$0.00
57	02-13500-00-141	15508 JUDICIAL RD	BRIAN & LUANN RAJVONG		15508 JUDICIAL RD	BURNSVILLE MN 55306	FIRST ADD TO BENHAM INV CO MN ORCHARD	14				1	\$ 8,227.14	15	\$0.00
58	02-13500-00-051	15420 JUDICIAL RD	ROSANNE FLATTEN		15420 JUDICIAL RD	BURNSVILLE MN 55306	FIRST ADD TO BENHAM INV CO MN ORCHARD	5				1	\$ 8,227.14	15	\$0.00
													<u>\$ 477,174.12</u>		<u>\$8,227.14</u>

Assessment Frontage

— Assessment Frontage

— Street Reclamation Project

Assessed Parcels

Lot Equivalent



1

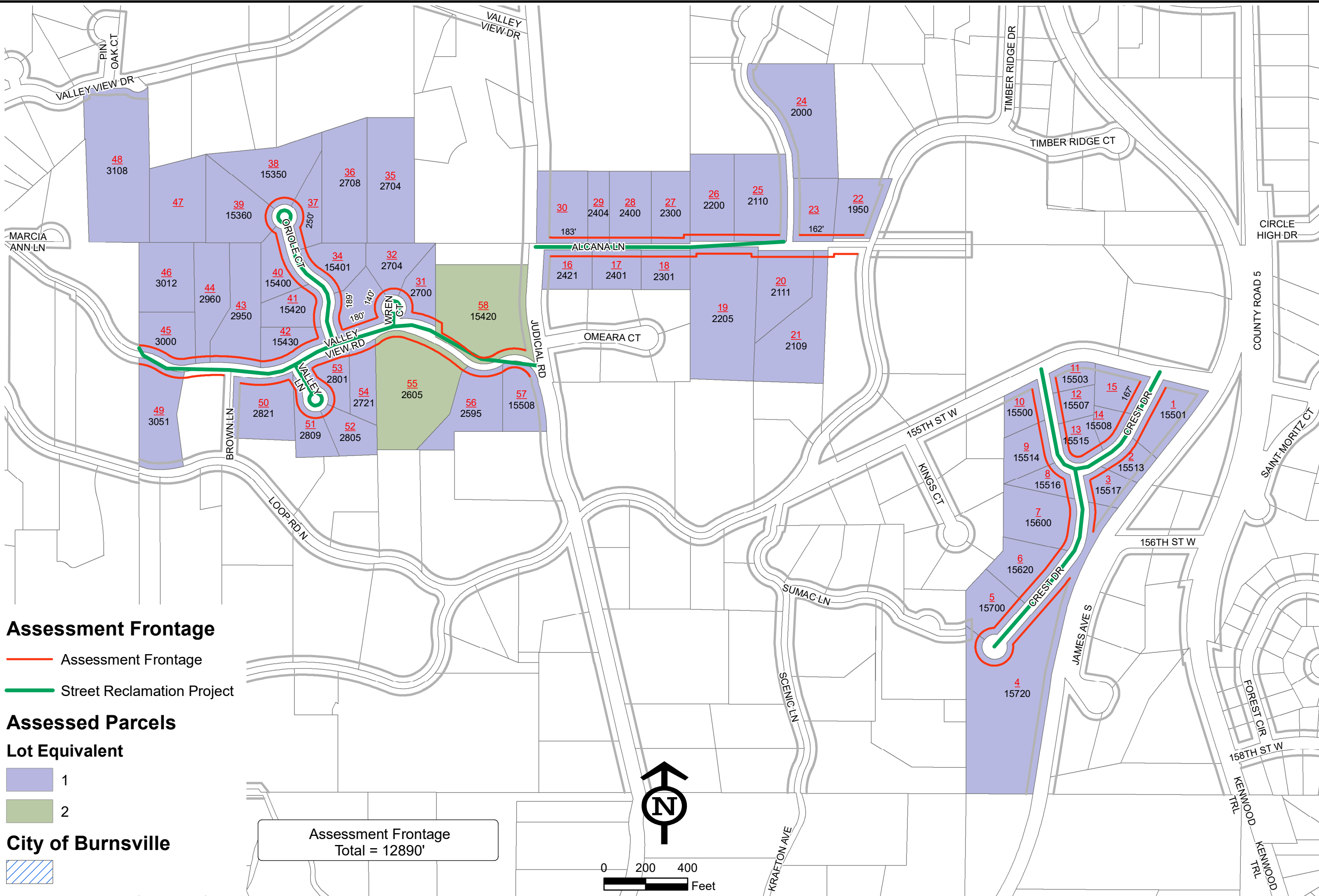
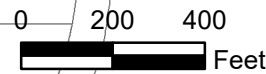


2

City of Burnsville



Assessment Frontage
Total = 12890'



Assessment Map
SOUTHWEST BURNSVILLE AREA
Street Reclamation

Sheet
1

Date	Revision	Design By	Drawn By	Check By	Proj. No.
		LMV	DDK	JDS	25-C

I hereby certify that this plan, Specification or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota

Date: 6/18/24 Reg. No.

PRELIMINARY ASSESSMENT ROLL
Project 25-F
Burnsville Parkway West - Rehabilitation

Single Family Rate:	\$	21.49
Single Family - Detached Per Unit Rate:		N/A
Multi-Family Rate	\$	27.94
Other Rate:	\$	34.38
Other 40' Rate:	\$	31.25
CIC #599 BCSI COMMERCIAL CONDOMINIUM	\$	3,774.92

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Footage/ Units	Prelim S/A	S/A Term
1	02-30150-01-011	3505 COUNTY ROAD 42 W	HEISE & HEISE LLC		3505 COUNTY ROAD 42 W	BURNSVILLE MN 55306	GILES ADDITION	1	1	O & O 40'	1049	\$ 34,558.15	15
2	02-30150-01-012	3300 CORPORATE CENTER DR	R & B VENTURES INC		3300 CORPORATE CENTER DR	BURNSVILLE MN 55306	GILES ADDITION	1	1	O	270	\$ 9,282.60	15
3	02-30151-01-020	3200 CORPORATE CENTER DR	RCF INVESTMENTS LLC		3200 CORPORATE CENTER DR STE 100	BURNSVILLE MN 55306	GILES 2ND ADDITION	2	1	O	213	\$ 7,322.94	15
4	02-30150-01-022	14200 SOUTHCROSS DR W	PETER J SMITH		9900 LAKETOWN RD	CHASKA MN 55318	GILES ADDITION	2	1	O	279	\$ 9,592.02	15
5	02-71000-01-052	14400 SOUTHCROSS DR W	INDUSTRIAL LEASE V PROPCO LLC		11755 WILSHIRE BLVD STE 1350	LOS ANGELES CA 90025	SOUTHCROSS CORPORATE CENTER	5	1	O	545	\$ 18,737.10	15
6	02-71000-05-002	3203 CORPORATE CENTER DR #1	VASTGOED LLC		3203 CORPORATE CENTER DR UNIT 150	BURNSVILLE MN 55306	SOUTHCROSS CORPORATE CENTER	5	1	O	1	\$ 3,774.92	15
7	02-71000-05-004	3203 CORPORATE CENTER DR #1	VASTGOED LLC		3203 CORPORATE CENTER DR UNIT 150	BURNSVILLE MN 55306	SOUTHCROSS CORPORATE CENTER	5	1	O	1	\$ 3,774.92	15
8	02-71000-05-001	3200 143RD CIR	MARCHESSAULT PARTNERS		3200 143RD CIR	BURNSVILLE MN 55306-6967	SOUTHCROSS CORPORATE CENTER	5	1	O	1	\$ 3,774.92	15
9	02-71000-05-003	3203 CORPORATE CENTER DR #1	VASTGOED LLC		3203 CORPORATE CENTER DR UNIT 150	BURNSVILLE MN 55306	SOUTHCROSS CORPORATE CENTER	5	1	O	1	\$ 3,774.92	15
10	02-71000-05-005	3203 CORPORATE CENTER DR #5	VASTGOED LLC		3203 CORPORATE CENTER DR UNIT 150	BURNSVILLE MN 55306	SOUTHCROSS CORPORATE CENTER	5	1	O	1	\$ 3,774.92	15
11	02-71000-01-010	14255 BURNSVILLE PKWY W	JOHN MESENBRINK	MARY MESENBRINK	7765 175TH ST E	PRIOR LAKE MN 55372	SOUTHCROSS CORPORATE CENTER	1	1	O & O 40'	713	\$ 23,678.44	15
12	02-71000-01-020	14265 BURNSVILLE PKWY W	AUMPEAM LLC		1008 GROGANS MILL DR	CARY NC 27519	SOUTHCROSS CORPORATE CENTER	2	1	O 40'	307	\$ 9,595.15	15
13	02-71000-01-091	14301 BURNSVILLE PKWY W	R D A LLC		14301 BURNSVILLE PKWY W	BURNSVILLE MN 55306-4844	SOUTHCROSS CORPORATE CENTER	9	1	O 40'	349	\$ 10,907.84	15
14	02-10930-01-010	3501 COUNTY ROAD 42 W	MCCONKEY PROPERTIES LLC		3464 WASHINGTON DR STE 100	EAGAN MN 55122	ABDALLAH CANDIES	1	1	O 40'	366	\$ 11,439.16	15
15	02-72700-01-010	14250 BURNSVILLE PKWY W	SUPERIOR STORAGE LLC		PO BOX 25025	GLENDALE CA 91201-5025	STROM ADDITION	1	1	O 40'	393	\$ 12,283.04	15
16	02-72700-01-020	14300 BURNSVILLE PKWY W	DISCOVER CHURCH OF BURNSVILLE		14300 BURNSVILLE PKWY W	BURNSVILLE MN 55306	STROM ADDITION	2	1	O 40'	426	\$ 13,314.44	15
17	02-15385-02-100	14350 BURNSVILLE PKWY W	MINNESOTA VALLEY ELECTRIC CO		PO BOX 125	JORDAN MN 55352-9369	BURNSCOTT INDUSTRIAL PARK	10	2	O 40'	205	\$ 6,407.18	15
18	02-15385-02-090	14380 BURNSVILLE PKWY W	B2G LLC		12101 S NICOLLET AVE	BURNSVILLE MN 55337	BURNSCOTT INDUSTRIAL PARK	9	2	O 40'	205	\$ 6,407.18	15
19	02-15385-02-080	14400 BURNSVILLE PKWY W	SOURIT PROPERTIES LLC		14400 BURNSVILLE PKWY W	BURNSVILLE MN 55306-4983	BURNSCOTT INDUSTRIAL PARK	8	2	O 40'	245	\$ 7,657.36	15
20	02-15385-02-070	14450 BURNSVILLE PKWY W	MURIEL JANE TSTE BIGELOW		1926 LADERA DR	LINCOLN CA 95648	BURNSCOTT INDUSTRIAL PARK	7	2	O 40'	245	\$ 7,657.36	15
21	02-15385-01-090	3501 145TH ST W	3501 LLC		6430 16TH AVE NW	ROCHESTER MN 55901	BURNSCOTT INDUSTRIAL PARK	9	1	O 40'	324	\$ 10,126.47	15
22	02-30151-01-010	3201 COUNTY ROAD 42 W	VELASCO 3201 LLC		5402 PARKDALE DR STE 105	SAINT LOUIS PARK MN 55416	GILES 2ND ADDITION	1	1	O	213	\$ 7,322.94	15
												<u>\$ 225,164.00</u>	

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0 150 300
Feet

Assessment Frontage
Single Family = 886' (does not include City of Burnsville property)
Multi-Family = 0'
Other = 6896'
City of Burnsville Property = 0'
Total = 7782'

Street Widths (Face to Face):
Burnsville Pky West = 40'
Corporate Center Dr = 44'

Assessment Frontage

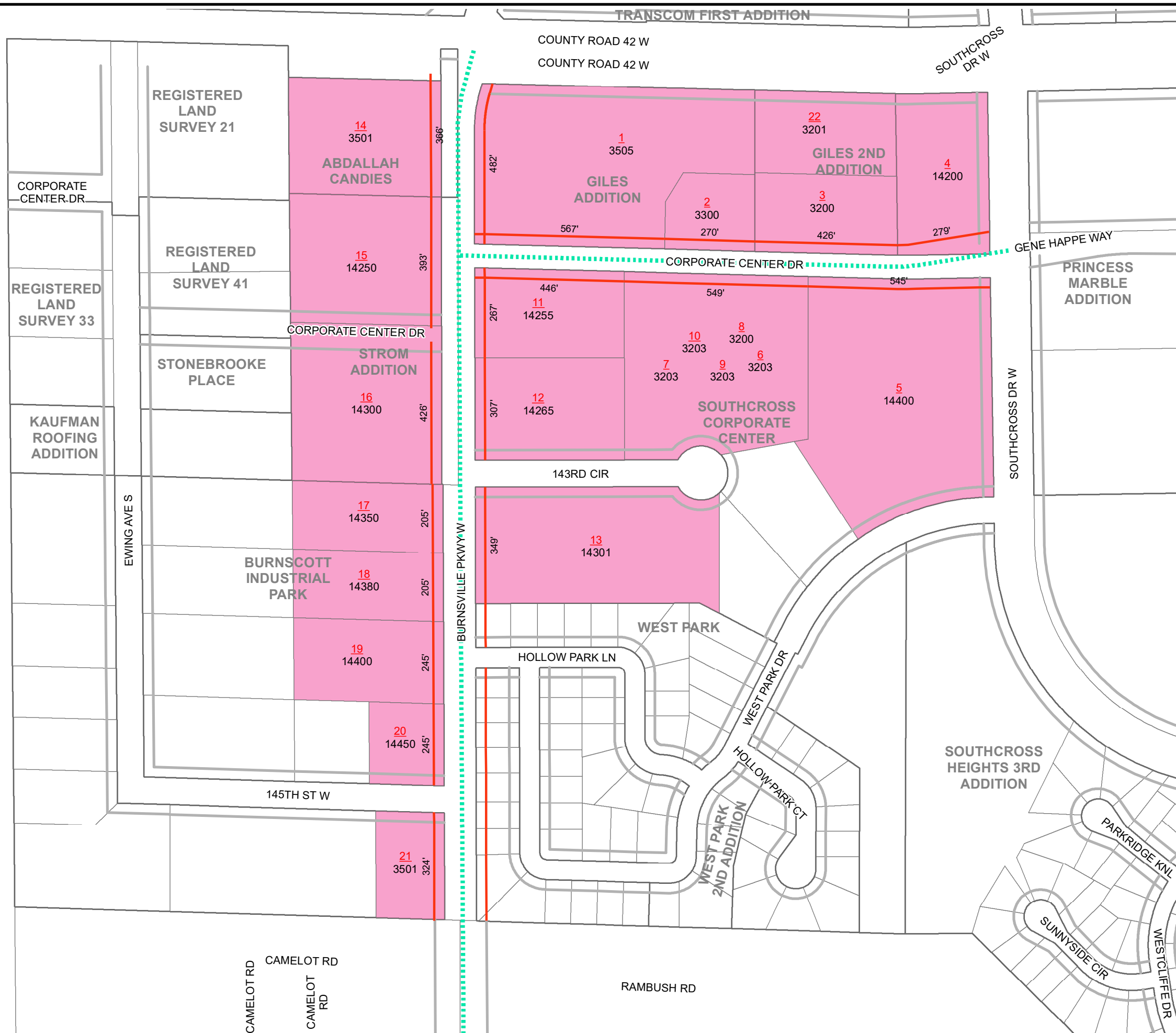
- Assessment Frontage
- Street Rehab Project

City of Burnsville



LandUse

- Other
- Single Family Attached (0.6)
- Single Family, Parks, Open
- Multi-Family

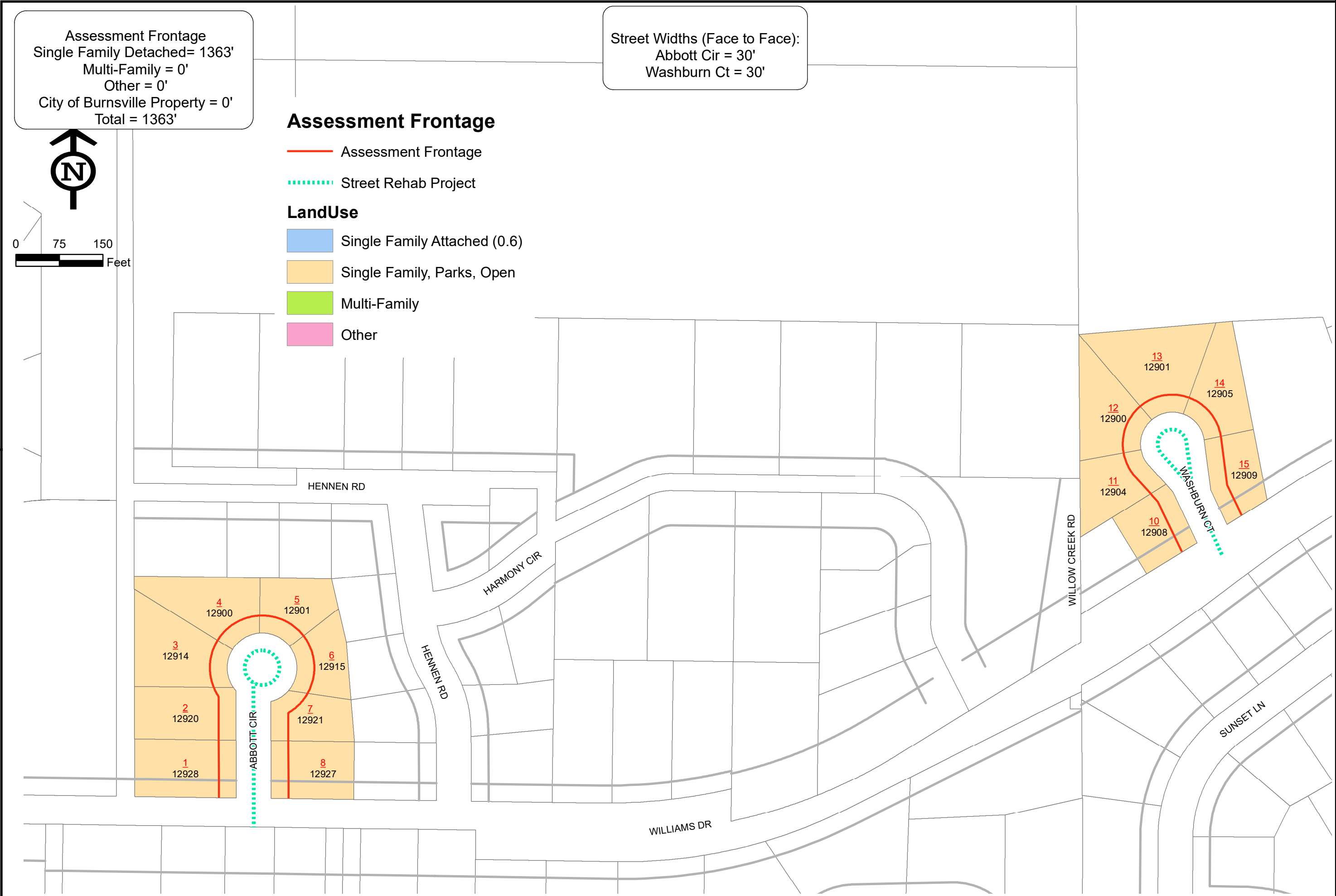


PRELIMINARY ASSESSMENT ROLL
Project 25-G
Abbott/Washburn - Rehabilitation

Single Family Rate:	\$	21.49
Single Family - Detached Per Unit Rate:	\$	2,366.02
Multi-Family Rate	\$	27.94
Other Rate:	\$	34.38

	PIN	SITE ADDRESS	OWNER	Joint Owner	ADDRESS1	CITY/STATE/ZIP	Plat	Lot	Block	S/A Rate	Footage/ Units	Prelim S/A	S/A Term
1	02-63200-01-010	12928 ABBOTT CIR	MATTHEW W WEST	ARIELLE J MEYER	12928 ABBOTT CIR	BURNSVILLE MN 55337	REASON INVESTMENT 1ST ADD	1	1	SFD	1	\$ 2,366.02	15
2	02-63200-01-020	12920 ABBOTT CIR	ROBERT E & CHERI L ANDERSON		12920 ABBOTT CIR	BURNSVILLE MN 55337-1743	REASON INVESTMENT 1ST ADD	2	1	SFD	1	\$ 2,366.02	15
3	02-63200-01-030	12914 ABBOTT CIR	MARIAN VITALI		12914 ABBOTT CIR	BURNSVILLE MN 55337	REASON INVESTMENT 1ST ADD	3	1	SFD	1	\$ 2,366.02	15
4	02-63200-01-040	12900 ABBOTT CIR	JESSE A & LINDSAY L EINHORN		12900 ABBOTT CIR	BURNSVILLE MN 55337	REASON INVESTMENT 1ST ADD	4	1	SFD	1	\$ 2,366.02	15
5	02-63200-01-050	12901 ABBOTT CIR	MAURIAN PEREZ GONZALEZ	JOSE E PEREZ GONZALES	12901 ABBOTT CIR	BURNSVILLE MN 55337	REASON INVESTMENT 1ST ADD	5	1	SFD	1	\$ 2,366.02	15
6	02-63200-01-060	12915 ABBOTT CIR	NATHAN TROY ZRUST	JENNIFER LOUISE ZANOLI	12915 ABBOTT CIR	BURNSVILLE MN 55337	REASON INVESTMENT 1ST ADD	6	1	SFD	1	\$ 2,366.02	15
7	02-63200-01-070	12921 ABBOTT CIR	NAM M & PIROUM LY		12921 ABBOTT CIR	BURNSVILLE MN 55337-1743	REASON INVESTMENT 1ST ADD	7	1	SFD	1	\$ 2,366.02	15
8	02-63200-01-080	12927 ABBOTT CIR	BLIZEK & OBERG INC		12927 ABBOTT CIR	BURNSVILLE MN 55337-1743	REASON INVESTMENT 1ST ADD	8	1	SFD	1	\$ 2,366.02	15
9	Intentionally Left Blank												
10	02-15100-01-060	12908 WASHBURN CT	ALFRED J JR GUERCIO		12908 WASHBURN CT	BURNSVILLE MN 55337-1983	BRIAR CREEK ADDITION	6	1	SFD	1	\$ 2,366.02	15
11	02-15100-01-050	12904 WASHBURN CT	ABDIFATAH HASAN MOHAMUD	SADIO FARAH	12904 WASHBURN CT	BURNSVILLE MN 55337	BRIAR CREEK ADDITION	5	1	SFD	1	\$ 2,366.02	15
12	02-15100-01-040	12900 WASHBURN CT	MIGUEL L GARZA		12900 WASHBURN CT	BURNSVILLE MN 55337	BRIAR CREEK ADDITION	4	1	SFD	1	\$ 2,366.02	15
13	02-15100-01-030	12901 WASHBURN CT	TIMOTHY SOLFELT		12901 WASHBURN CT	BURNSVILLE MN 55337-1983	BRIAR CREEK ADDITION	3	1	SFD	1	\$ 2,366.02	15
14	02-15100-01-020	12905 WASHBURN CT	MELISSA A BECKER		12905 WASHBURN CT	BURNSVILLE MN 55337	BRIAR CREEK ADDITION	2	1	SFD	1	\$ 2,366.02	15
15	02-15100-01-010	12909 WASHBURN CT	MATTHEW D & LORA L MAYS		12909 WASHBURN CT	BURNSVILLE MN 55337	BRIAR CREEK ADDITION	1	1	SFD	1	\$ 2,366.02	15
											\$	33,124.28	

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Appendix B

SPECIAL ASSESSMENT POLICIES 5.010 & 5.035

PUBLIC IMPROVEMENT SPECIAL ASSESSMENT POLICY

I. PURPOSE AND NEED FOR POLICY

City streets, utilities, and other infrastructure have a finite useful life. To provide continued or expanded service by these facilities, there must be a prescribed method of programming, constructing, maintaining, and financing needed public improvements. As part of the financing for improvement projects, special assessments may be used to share the cost with benefitting properties.

The City must have a standard method for applying its levied special assessments to benefitting properties within the City. Without a standard method and formula, special assessments may not be applied consistently, fairly, and uniformly and could result in an undue number of appeals. The City shall utilize this special assessment policy in accordance with Minnesota Statute 429.

The City shall utilize standard assessment rates to recognize that oversized public improvements benefit more than those properties that directly abut and benefit from the construction. The calculations set forth below recognize that there are greater impacts and use of public infrastructure by different land uses.

II. POLICY

All public streets under the jurisdiction of the City shall be inventoried and analyzed for the purpose of prioritizing the reconstruction, reclamation, rehabilitation, maintenance overlay, and preventative maintenance programs of the City. This inventory and analysis will be referred to as the Pavement Management Program or PMP. The PMP is a system whereby all streets are inventoried and analyzed using a deterioration model. This system takes into account factors such as structural and surface conditions, traffic volumes, ride-ability, age, and past maintenance experience.

In conjunction with the preparation of the budget and Capital Improvements Plan, the Public Works Department shall annually update the PMP, and utilizing this tool, formulate the reconstruction, reclamation, rehabilitation, maintenance overlay, and preventative maintenance programs for the following fiscal year.

A) For the purposes of this policy, the following definitions will apply:

- 1) **RECONSTRUCTION** - will be defined as a project whereby all meaningful elements of a street are analyzed for removal and replacement. These include curb and gutter, bituminous or concrete pavement, gravel base, subgrade replacement as necessary, and items appurtenant to these elements. Spot replacement of sidewalk and portions of driveways may be replaced with the project.
- 2) **RECLAMATION** - will be defined as a project whereby the pavement, gravel base and other roadway items are reclaimed or replaced. These elements include bituminous or concrete pavement, gravel base and subgrade replacement as necessary, spot replacement of concrete curb and gutter, sidewalk, and portions of driveways.
- 3) **REHABILITATION** - will be defined as a project in which one or more of the aforementioned elements are modified or supplemented in-place, to restore the serviceability of the entire street. This work generally involves spot repair of

sidewalk, concrete curb and gutter, and resurfacing of the pavement surface. This type of project will likely occur when extensive underground utility work and full depth pavement is not necessary, but resurfacing of the pavement is required.

- 4) **MAINTENANCE OVERLAY** – will be defined as resurfacing of residential streets previously reconstructed or reclaimed under the PMP. Residential streets are streets with primarily single family land use adjacent to them and are classified as “Local Roads” on the City’s Road Functional Classification Map. Streets where adjacent land use is primarily not single family residential or streets that are classified as “Collectors” or “Arterials” are not eligible for Maintenance Overlay.
 - 5) **PREVENTATIVE MAINTENANCE** - will be defined as work that involves a level of effort less than that involved in reconstruction, reclamation, or rehabilitation, the intent of which is to extend the life of the existing pavement. Preventative maintenance will include, but not be limited to, residential/local neighborhood maintenance overlays, crack sealing, seal coating, and patching. These activities are designed to extend the life of the pavement to prevent the need for premature reconstruction, reclamation, or rehabilitation projects.
 - 6) **SINGLE FAMILY (DETACHED)** – a stand-alone residence with a free-standing building that occupies its own lot and without shared walls or common land.
 - 7) **SINGLE FAMILY (ATTACHED)** – a single family residence that is built to the edge of the lot line next to another similar residence, such that the residences share a common wall. There are typically duplexes, three-plexes, and four-plexes where each structure is on its own lot and there is no shared common land.
- B) Maintenance Overlay and Preventative Maintenance, when recommended by the PMP, shall be funded entirely from the City’s Infrastructure Trust Fund and Street Revolving Fund except for storm sewer and sanitary sewer/watermain items that are affected by the preventative maintenance may be funded by those utility’s enterprise funds.
- C) Reconstruction, Reclamation, and Rehabilitation work may be financed by the use of special assessments and other sources such as ad valorem taxes (Infrastructure Trust Fund), enterprise funds, municipal state aid street funds, Tax Increment Funds (TIF), etc., as provided under MSA 429.
- D) When the reconstruction, reclamation or rehabilitation involves construction of a significant construction element that was not previously in place, such as storm sewer or concrete curb and gutter, the entire cost of this element may be levied as a special assessment in accordance with the other applicable City special assessment policies. In the case of concrete curb and gutter being added where none previously existed, the street assessment rate will be calculated as described within this policy, plus an additional amount which covers the cost of constructing new concrete curb and gutter. This curb and gutter rate will be applicable to all reconstruction or rehabilitation projects and will be levied on a specific project based upon actual bid costs for that particular element.
- E) Interest will be charged to customers who choose to not pay their assessments in full by November 15th in the year the special assessment is levied. The interest rate is determined by adding 2% to the cost the City encountered when most previously selling bonds for special assessments. The rate will be rounded up to the nearest 0.5%. Assessments may be deferred under state law (§435.193) and city ordinance (§1-9-1) upon application by the owner and approval of the Council.

- F) The length of time that assessments are to be paid varies according to the following table:

\$1.00 to \$199.99	1 year
\$200 to \$999.99	5 years
\$1000 to \$1999.99	10 years
\$2000 and over	15 years

- G) In situations where the land adjacent to the road being improved is common land owned by all property owners in a Home Owners Association ("HOA"), all property owners in the HOA will be assessed an equal share of the total assessment. In situations where there is no common land owned by all of the property owners in the HOA, the City will assess all properties that receive access from the street being improved even if not directly adjacent to the street being improved.

- H) Private hydrant owners who petition the City for installation of a STORZ adaptor or repair of a private hydrant shall have the following payment length for assessment:

\$1.00 to \$4,999.99	1 year
\$5,000.00 and over	5 years

III. PROCEDURE/CALCULATIONS

A) Reconstruction, Reclamation, and Rehabilitation

- 1) Summary: Parcels to be assessed for reconstruction, reclamation, or rehabilitation shall be assessed based upon land use classifications. An assessment rate shall be established for each construction method and for each land use classification. For single family residential (detached and attached), a per unit assessment will be calculated based upon the assessment rate and total assessable footage. For all other property types, the assessment rate shall be applied to the assessable footage for each individual property. Detailed procedures and calculations are set forth below.
- 2) Land Use Classifications: Land use classifications and corresponding street widths and pavement characteristics listed below. If the subject road is a lesser width, the rate shall be reduced proportionately. Street reconstruction, reclamation, or rehabilitation proceeding under the terms of this policy shall provide for the following minimum standards:
 - **Single Family Residential (detached and attached), Parks/Recreation and Open Space Land Uses - 30'** Face-to-Face, urban cross section, curb and gutter and 7-ton pavement.
 - **Multi-Family Residential (including townhomes, apartments, condominiums, and cooperatives) and Manufactured Housing Land Uses - 36'** Face-to-Face, urban cross section, with curb and gutter and 9-ton pavement.
 - **All Other Land Uses - 44'** Face-to-Face, urban cross section, curb and gutter and 9 or 10-ton pavement as determined by the City Engineer.
- 3) Assessment Rate: Work proceeding under the terms of this policy shall utilize special assessment rates as set forth with other rates and fees periodically adopted

by the City Council, usually at its annual organizational meeting. This rate is based upon 40% of the three year running average of actual street reconstruction, reclamation, and rehabilitation costs necessary to complete that width of street. This average construction cost shall be increased by 18% to recognize the engineering, legal, financing, and administration costs necessary to complete these projects. This shall be known as the "Three Year Average Rate."

- 4) **Special Assessment Verification:** Special assessments shall be checked to ensure that the total special assessment using the Three Year Average Rate is not greater than 40% of the actual street improvement costs. After opening of bids for the project each year, the City Staff shall recalculate the total assessable amount based upon the actual costs from bid prices submitted from the lowest responsible bidder plus 18% to recognize the engineering, legal, financing, and administration costs necessary to complete these projects. This shall be calculated for all reconstruction, reclamation, and rehabilitation projects to develop a special assessment cap for all three types of projects. If 40% of the total street improvement costs calculated based on the project bids + 18% is less than the total special assessment amount based upon the adopted Three Year Average rate for any of the three types of projects, the City Engineer shall reduce the assessment rate prior to notifying affected property owners of their final assessment amount and conducting the assessment hearing. For street improvement projects that have more than one project area, each separate project area shall be aggregated together by construction method to determine one rate for each construction method and each land use classification.
- 5) **Assessment Footage:** For street improvement projects, the assessments will generally be based on lineal footages of property abutting the street. The assessable footage is the lineal footage at the 30-foot setback line, measured perpendicular from the right of way. Single family (detached) and single family (attached) lots will have a per unit assessment based upon the assessable footage and all other property types will be assessed based upon the assessable frontage adjacent to the property.
- 6) **Single Family (Detached and Attached):** The single family (detached and attached) per-unit assessment calculation will be completed as follows:
 - a) The assessable frontage as determined by measuring the length at the 30-foot setback will be totaled for each construction method.
 - b) The Three Year Average Rate for single family properties will be applied to the total single family assessment per construction method.
 - c) Single family detached lots will each count as one unit and single family attached properties will each count as 0.6 units. This is based upon the 2019 Special Benefit Consultation in which the report estimated that single family attached properties benefited at 60% of what single family detached properties benefited from street improvement projects. The total units for each construction type will be totaled.
 - d) The total single family assessment will be divided by the total units for each construction method to provide the per unit assessment for each unit. Single family detached properties will be assessed for one unit and single family attached properties will be assessed for 0.6 units.

For single family (detached and attached) lots with more than one frontage, the lot will be included in the assessment roll only if they receive their access from the street being improved. If the lot has multiple accesses to multiple streets, the lot

will be included in the assessment roll for the street they are addressed from. In cases where the single family property does not have direct frontage to a street being improved, but gains access to that street, that property will be included in an assessment roll for an improvement project to the street utilized for access.

- 7) Exceptions: In situations in which the City Council determines to use a different methodology for apportioning assessments, the Council will direct the City engineer to evaluate as part of the feasibility report whether a departure from the standard policy is warranted and consider the expressed requests of the affected property owners, past departures from policy, and other factors. The deviation from standard policy will be noted in project documents and hearings.
- 8) Southwest Burnsville: Due to its unique aspects and historical treatment, public Improvements located in Southwest Burnsville shall be undertaken as determined in the Southwest Area Public Services Study and according to City Policy 5.035 - Street and Utility Improvements in the Southwest Area.

B) New Construction

Street, water main, storm drain facilities, and sanitary sewer assessments constructed under Chapter 429 shall be assessed at the construction contract cost plus engineering, legal, financing (including capitalized interest), and administration costs. If costs are to be spread to more than one property owner, the assessments shall be spread on the basis of assessable footage at the 30-foot setback line on the project unless a different methodology is agreed to through an assessment agreement with the City Council.

The City shall pay for oversizing of public facilities constructed by a developer where larger facilities are required for future development as determined by the City Engineer.

The City shall assess 100% of the Streetscape costs to any area of the City that requests and petitions for those improvements, except the streetlights which are covered under Policy 5.080 - Street Lighting. The additional operating and maintenance costs associated with streetscaping shall be negotiated with the petitioners. Operation and Maintenance of any associated street lighting shall be determined according to Policy 5.080.

IV. RESPONSIBILITY

The Public Works Department maintains the Pavement Management Program, updates this policy, and prepares the special assessments for consideration by the City Council. All minor issues and discrepancies shall be resolved by the City Engineer.

V. AUTHORITY

Administrative implementation of policy. Minnesota State Statute Chapter 429.

Submitted by: _____	Jen Desrude	Date: _____	06/02/2020
Reviewed by: _____	Ryan Peterson	Date: _____	06/02/2020

This policy replaces Policy 5.010 dated January 5, 2016.

This policy is effective on October 1, 2020. Policy 5.010 dated January 5, 2016 shall remain in effect until then.

STREET AND UTILITY IMPROVEMENTS IN THE SOUTHWEST AREA

I. PURPOSE AND NEED FOR POLICY

The Southwest Area Public Services Study (Study) states that all future subdivisions within the Study Area (Southwest Area) are to be consistent with the Official Master Plan, shown as Figures 8 and 9. Properties not served with public sanitary sewer are subject to the provisions of Title 7, Chapter 11 Subsurface Sewage Treatment Systems (SSTS). Properties not served with public water systems are subject to Title 7, Chapter 2, provisions related to private water systems.

The Study also states that sanitary sewer will not be extended into the Southwest Area unless it is requested by a majority of the property owners, or a public health condition necessitates an extension. The phrases "majority of property owners" and "public health condition" were not defined in the Study. The Study also did not specify when storm sewer and water should be extended into the area, how improvements would be financed, whether all improvements would need to be extensions of existing improvements, and what road standards would be required for new and extended public streets. Many property owners in the Southwest Area are concerned about the assessable costs of these improvements. This policy is intended to clearly identify the process and procedures for street and utility improvements in the Southwest Area.

II. POLICY

A. The City will not initiate sanitary sewer and water utility extensions into the Southwest Area unless the City documents a significant threat to the public health resulting from the continued use of on-site private septic systems or wells. Sanitary sewer and water utilities may be extended into the Southwest Area without a documented public health condition only under the following circumstances and terms:

- 1) The developer of a new subdivision may extend utilities within the development, pursuant to the Subdivision Regulations found in Title 11, Burnsville City Code (Title 11), with or without a public improvement project petition, pursuant to Minnesota Statutes Chapter 429 (MS.429) and City Policy 5.010, STANDARD SPECIAL ASSESSMENT METHODOLOGY (Policy 5.010), provided that the utility extensions occur completely within the developer's property and that the developer pays the full cost of the project, including all assessments.
- 2) The developer may extend remote utilities to the site provided that the developer pays in full for the extension without cost to the landowners adjacent to the extension. As a part of the extension project, an adjacent landowner may connect to the utilities by paying the full cost of the connection, including a connection fee payable to the City. An adjacent landowner may also pay the full cost of the installation of a service stub for future use. No connection fee would be due to the City until the stub is used.
- 3) Following the completion of the extension, adjacent landowners who choose to connect to the utilities must pay for the full cost of the connection, including the City connection fee. For a period of ten years following the completion of the extension, the City will reimburse the developer a percentage of each connection fee collected.

The connection fee and reimbursement percentage will be established in the

development contract between the developer and the City for the extension project. The developer is not entitled to either a reimbursement of any connection fees collected after the ten year period, or a reimbursement of any project construction costs.

- 4) Homeowners may extend utilities to their property without additional development pursuant to the terms and conditions of Sections II (A) (1) and (2) of this policy, except that the cost of such extension will be on a per unit basis rather than on a frontage basis. Homeowners will pay one unit charge for every existing and developable lot within their property. A developable lot is a lot that could be created from the homeowners' property in compliance with all applicable zoning and subdivision requirements.
- 5) Any existing street that is disturbed by the utility construction must be repaired to a new condition at its existing standard, as a part of the utility improvement project.

B. Street and storm water utility extensions and upgrades (e.g. paving existing gravel roads, adding concrete curb, adding new storm sewer system, etc.) must be either petitioned for and installed pursuant to MS 429, or installed pursuant to Title 11. The City will not initiate extension and upgrade projects, except for upgrade projects for collector level roads. All street and storm water extensions and upgrades must meet the following standards:

- 1) All street extensions must be consistent with the Comprehensive Plan provisions for the Southwest Area, and must be located within existing right-of-way and right-of-way dedicated by the petitioner or developer.
- 2) The cost of street and storm water utility extensions must be paid in full by the petitioner or developer without cost to the landowners adjacent to the extension.
- 3) All new subdivisions must have full urban City standard permanent streets, City standard temporary streets, or an alternative approved by the City Engineer, at the option of the developer. The City Council may approve the use of gravel streets for extensions of existing gravel streets.
- 4) All new subdivisions must include a storm water management system that is consistent with the City's Comprehensive Stormwater Management Plan.

C. Street improvements (in kind) for existing asphalt paved streets may be initiated by the City or adjacent residents in accordance with the following conditions:

- 1) If initiated by the City, the City will participate in the cost of street improvements for existing asphalt paved streets by funding 60% of the actual cost of the improvement project including engineering and administrative costs. The remaining 40% of the cost of such improvement will be assessed. This process will follow MS 429.
- 2) If initiated by residents via petition, the residents shall be responsible for 100% of the actual cost of the improvement project including engineering and administrative costs. This process will follow MS 429.

III. PROCEDURE

A. All petitioners and developers should consult with the City Engineer prior to filing a petition or development application.

B. The City Engineer will recommend the appropriate process for the proposed improvements and upgrades, and will assist the petitioner or developer in that process.

C. Improvement and upgrade projects that include petitions may proceed in accordance with the terms of MS.429 and the assessment provisions of Policy 5.010, whichever is applicable, only after the City Engineer has determined that the petition includes the required number of signatures of all affected property owners.

D. If special assessments are utilized for all or part of the funding for a street improvement and/or upgrade project, property owners will pay one unit charge for every existing and developable lot within their property adjacent to the street being improved/upgraded. A developable lot is a lot that could be created from the homeowners' property in compliance with all applicable zoning and subdivision requirements. Parcels that have no frontage to a street shall be subject to assessment on a per unit charge when the street from which they gain access is being improved/upgraded. Parcels that front more than one street shall be assessed according to the following methodology:

- 1) For parcels with one (1) unit, one (1) unit will be charged for projects that improve/upgrade only one of the streets that front the parcel and will be determined by whichever street is improved and assessed first.
- 2) For parcels with two (2) units, one (1) unit will be charged for projects that improve/upgrade the street where the parcel's primary access is located. One unit will be charged for projects that improve/upgrade the street that is not where the parcel's primary access is located.
- 3) For parcels with three (3) units, one (1) unit will be charged for projects that improve/upgrade the street where the parcel has the least frontage. Two (2) units will be charged for projects that improve/upgrade the street where the parcel has the most frontage.

E. The per unit rate will be based on the actual project costs in accordance with paragraph IIC., divided by the total number of existing and potentially developable lots as described in paragraph IIID. At the time of the improvement, a special assessment for one (1) unit will be assessed to each parcel either adjacent to the improved street or from which access is made to the improved street. Special assessments for additional units will be deferred until such time as the lot is subdivided, in which the special assessment will be levied in the year the parcel is subdivided at the repayment term as provided for under City Policy 5.010 and at the interest rate proposed for the levied year. Interest will not accrue during the deferral period and deferred assessments will be removed 15 years after the date the project assessments are levied to recognize that the pavement will begin to degrade over time.

F. The City Engineer will coordinate the improvement and upgrade process with the development review process established under City Policy Number 5.260, DEVELOPMENT REVIEW COMMITTEE PROCESS, if applicable.

IV. RESPONSIBILITY

The City Engineer supervises all public improvement and upgrade projects in the City and is responsible for the terms and provisions of this policy.

V. AUTHORITY

Administrative implementation of policy, Title 7, Title 11, and MS 429.

Submitted by: John Schmeling Date: 02/19/2019
Reviewed by: Ryan Peterson Date: 02/19/2019

This policy replaces Policy No. 5.035 dated February 8, 2011

Appendix C

RESTRICTED APPRAISALS

Report Type

Real Estate Consulting
Letter Report (Restricted Appraisal)

Effective Date

November 15, 2024

Client

City of Burnsville
Attn: Charlie Gerk, Assistant City Engineer
100 Civic Center Parkway
Burnsville, MN 55337

Subject Property**Street Improvement Project**

XXXX Country View Lane
Burnsville, MN 55337
Project #: 25-B West
Owner: 2004 Burnsville Parkway W



File # V2411001 – Burnsville Parkway

Prepared By:

Ethan Waytas, MAI, Appraiser
William R. Waytas, SRA, Appraiser

Nagell Appraisal Incorporated

12805 Highway 55, Suite 300
Plymouth, Minnesota 55441
Tel: 952.544.8966 | Fax: 952.544.8969

NAGELL APPRAISAL INCORPORATED

12805 Highway 55 #300
Plymouth, MN 55441
Established in 1968

Phone 952-544-8966
Fax 952-544-8969

City of Burnsville
Attn: Charlie Gerk, Assistant City Engineer
100 Civic Center Parkway,
Burnsville, MN 55337

Report Date: November 19, 2024

To Charlie Gerk:

Per your request, this is a letter report to assist the city for guidance regarding a street improvement project within Burnsville (see attached map for the location of the streets in the project).

The following information outlines the scope and intent of this document:

Client: City of Burnsville

Intended User: City of Burnsville

Note: Only the client and name intended user can rely upon this report.

Effective Date: November 15, 2024

Report Type: Restricted Appraisal (as a restricted appraisal, this report may not contain supporting rationale for all the opinions and conclusions as stated. This information is retained in the workfile)

Intended Use: The intended use of this report is for decision-making purposes regarding a road project and potential special assessments.

Value Provided: Market Value, see rear of report for definition

Interest Provided: Fee Simple

Subject Property: The city requested vacant land located at XXXX Country View Lane (PID 020170033020) in Burnsville be analyzed to indicate the market benefit.

Scope of Work: William R. Waytas drove the streets in the project area on November 15, 2024 and viewed the subject property from the right-of-way. The appraiser reviewed sales, rents, listings, and costs in the market. The market was analyzed to indicate a benefit range that would be applicable to the project. In addition, the appraiser has completed a cursory review of the zoning and future land use plan. Other research includes prior discussions with market participants and discussion with the city regarding the project.

Sales Comparison Approach: Sales data was analyzed to indicate a market benefit range.

Income Approach: This approach was not applied at this time, as it is considered less reliable given the project and scope of assignment. Vacant land that has future development appeal is rarely rented. A subdivision analysis is not considered reliable without additional survey information and site development costs.

Cost Approach: This approach was considered regarding new road costs and physical depreciation. The subject is vacant land, the Cost Approach is not relevant as there are no building improvements.

Subject Use: The subject is vacant land that is zoned for R1, Single Family Residential and is guided for LDR, Low Density Residential. The future land use has a guided density of 2 to 6 units per acre. The subject has a total site size of 13.05 acres. The site has a significant slope, which makes development difficult.

Report Assistance: Ethan Waytas, MAI wrote the report and analyzed the market data. William R. Waytas read the report and agreed with the conclusions.

PROJECT

The City of Burnsville is proposing to complete a mill and overlay, which is described by the city as removing 2 to 4 inches of the existing asphalt, replacing concrete curb and gutter as needed, paving 2 to 4 inches of new asphalt, and repair/replacing existing manhole castings for the storm sewer and sanitary sewer.

Per request, you desire to know the benefit (if any) as it impacts the subject property.

Motivation for the road improvement project appears to stem from deteriorating road surface.

AREA DESCRIPTION

The City of Burnsville is a southern suburban community located approximately 25 minutes from Downtown Minneapolis. Burnsville has experienced growth in recent years and is fairly built-up. Burnsville has convenient access to major connecting roadways (Interstate 35E, Interstate 35W, and State Highway 13.). Access to most shopping and surrounding communities is good. Most existing properties in the area are average to good quality. Minneapolis International Airport is located in the neighboring community of Bloomington as well as the Mall of America, a large tourist attraction.

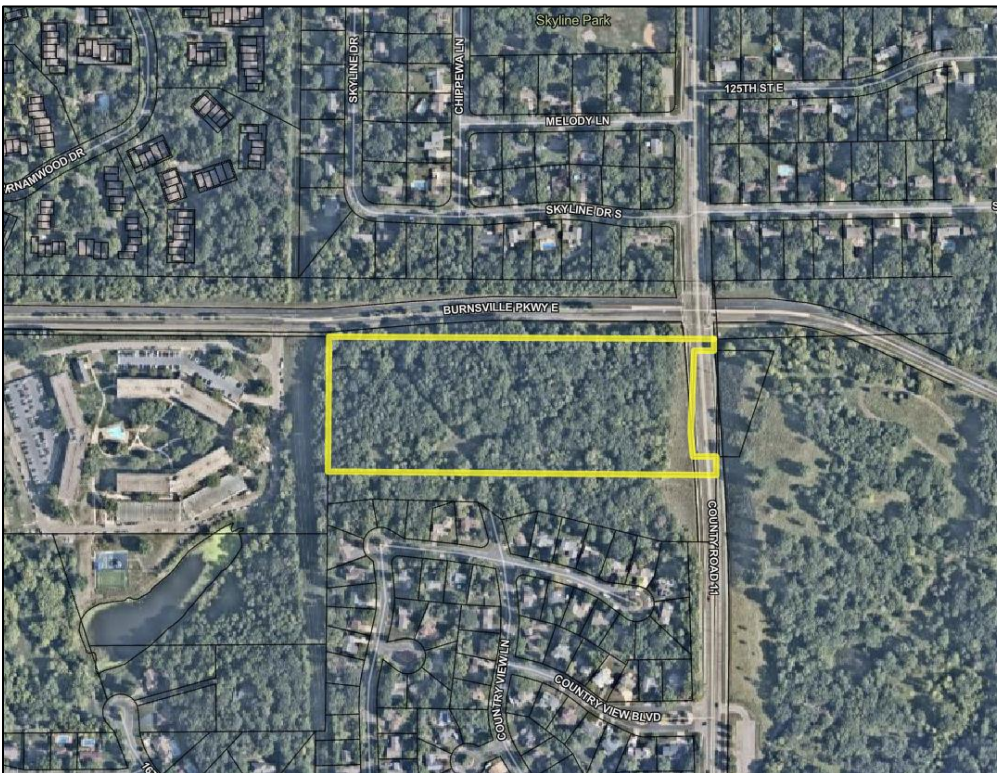
The population for Burnsville in 2010 was 60,306, up from 60,220 in 2000—a 17.4% increase. The 2020 estimated population is 64,317, a 6.7% increase. The 2022 population estimate is 63,936, a decrease of 0.6% from 2020.

Single family homes generally range in value between \$250,000 and \$700+ in the City Limits with an average of about \$440,000 (MLS statistics). The city is a mixture of residential, industrial, and commercial.

SUBJECT PROPERTY

The subject is vacant land that has a total site area of 13.05 acres. There is an adjoining land parcel to the south that has the same ownership and would likely be developed in conjunction with the subject. The parcel to the south has a total site area of 4.39 acres.

The subject parcel is indicated below by the Dakota County GIS system outlined in yellow:



Subject Property – Continued

As noted previously, the subject has a significant slope. The below topography map is from the Minnesota DNR and reflects the subject parcel (red outline approximate):



The lowest elevation, near the road, is 990'. The highest elevation is 1,060'. The elevation increase is 70' with an approximate length of 227'. The slope is 30.83%.

The apparent buildable area is primarily in the central portion of the property. Based on GIS aerial measurement, the approximate buildable area is 5 acres.

Access to the site would likely come from the southern neighborhood road, Country View Lane. Access to Burnsville Parkway East would be difficult due to the site slope. Access to County Road 11 would also be difficult due to site slope.

The subject has no prior sales in the past 3 years.

The county indicates the legal description of the subject property is:

N 456.68 FT OF E 1/2 OF NW 1/4 EX PT E OF CR #11 SUBJ TO HWY EASE DOC #3591717

EXISTING STREETS & UTILITIES

Physical Condition of the Existing Road: The existing road improvements are asphalt with concrete curb and gutter. The road condition, based on the visual inspection of the streets, is rated to be fair. There are signs of transverse, longitudinal, and alligator cracking. There are also areas of raveling and heaving.

Physical Condition of Existing Utilities: The utilities in the area are public water and sanitary sewer (along with gas and electric). The city indicates that the water and sanitary sewer are in average condition and are mostly not part of the project.

Functional Design of the Road: The existing road is dated, in fair overall condition, and does have substantial large cracks, heaving, raveling, etc. The road condition is rated to be fair.

Road and utility infrastructure in poor to fair condition do not meet the expectations of typical market participants in this suburban market for re-development, resale price, and/or updating the current uses. Overall, the existing street improvements are in fair condition, are beginning to look dated (or function) and reflect likewise on the adjoining and side street properties.

PROPOSED IMPROVEMENTS

The City of Burnsville is proposing to complete a mill and overlay, which is described by the city as removing 2 to 4 inches of the existing asphalt, replacing concrete curb and gutter as needed, paving 2 to 4 inches of new asphalt, and repair/replacing existing manhole castings for the storm sewer and sanitary sewer.

Given the existing condition of the road, the proposed project is logical.

If any of the above descriptions change, the benefit due to the project could differ.

HIGHEST AND BEST USE

The subject project area is located in the eastern portion of the city in an area of residential, vacant land, and apartment uses.

Owners in the subject area appear to update their property as needed when site and building components wear out or become dated. Owners in the overall area commonly pave their driveways or maintain parking lots as needed, recognizing it adds value when done. Therefore, it is logical to update the road and/or utility infrastructure to the subject properties as needed, as these are essential property characteristics that are expected in this market.

An informed buyer would consider the condition of the road, traffic flow/management, and utilities. A well-constructed and good condition road provides aesthetic appeal to a property and efficient/safe traffic flow. Given a choice, a potential informed buyer would likely prefer a newer road with good traffic flow over a deteriorating road with fair traffic flow. Additionally, a potential informed buyer would likely prefer newer utility infrastructure as compared to older, dated and inferior utility infrastructure.

If replacement of components of real estate near the end of their economic life in a home or building is postponed, it can be costlier in the long run; delays in replacing components can result in incurring higher interim maintenance costs and potential difficulty in marketing the property. Also, it is typical for the cost of the replacement of an improvement to increase over time. That said it is logical and prudent for market participants to update/replace dated components when needed.

For the subject, development of the site appears to be challenging due to the slope of the site. As shown on the prior topography map, the site grade from Burnsville Parkway East to the central, buildable portion of the subject property is approximately 30.83%. Given the slope, much of the subject land is not physically buildable.

Likewise, due to the slope, access to the property from Burnsville Parkway East would be difficult. Access would be more logical from Country View Lane.

As vacant, the highest and best use of the subject property is for residential development with a density of 2 to 6 units per acre as market demand warrants and the site physically allows.

DISCUSSION OF MARKET BENEFIT

Listed below are the factors that will be taken into consideration concerning the potential benefit to the properties.

<u>Description</u>	<u>Existing Improvements</u>	<u>Change</u>
1) Road Surface	Fair	New, asphalt
2) Base Condition	Average	Average
3) Curb	Fair to Average	Spot replacement as needed
4) Drainage	Average	Average
5) Storm Sewer	Average	Manhole cover updates
6) City water	Average	Average
7) City sewer	Average	Manhole cover updates
8) Sidewalk	Average	Average
9) Street Lights	Average	Average
10) Functional Design of Road	Dated	Good, new
11) Traffic Management	Average	Average
12) Pedestrian Use (biking, walking, etc.)	Fair	Good
13) Median	n/a	n/a
14) Road Proximity to Properties	n/a	n/a
15) Dust	n/a	n/a
16) Visual Impact on Properties	Fair	Good

Based on the preceding grid, the subject properties will improve in 7 of the 16 categories. Market participants generally recognize that roads and utilities need replacing when nearing the end of a long economic life. A typical buyer in the subject market commonly prefers a good condition paved road surface versus an inferior condition paved road surface. Similarly for utilities, market participants prefer new or newer utilities versus older utilities. In addition to visual benefit, new street improvements provide better and safer use for pedestrians (biking, walking, stroller, rollerblading, etc.) and drivers. The new streets and utilities will enhance potential for re-development and/or updating the current properties. Properties that indirectly/directly abut or have driveways/access that exit on the new street will benefit.

Based on past appraisals, experience, and general market information, it is not uncommon for properties similar to those in the subject market to realize an increase in price for new street improvements.

CONCLUSION

Based on a preliminary analysis, the indicated difference between the value of the subject Before the road project and After the road project is:

Preliminary Market Benefit: \$10,000

Note: This market benefit is preliminary, additional information could result in value revisions. That said, the value is reflective of market data and realities as understood by the appraisers.

If you have additional questions, please do not hesitate to contact us.

Sincerely,



Ethan Waytas, MAI
Certified General MN 40368613

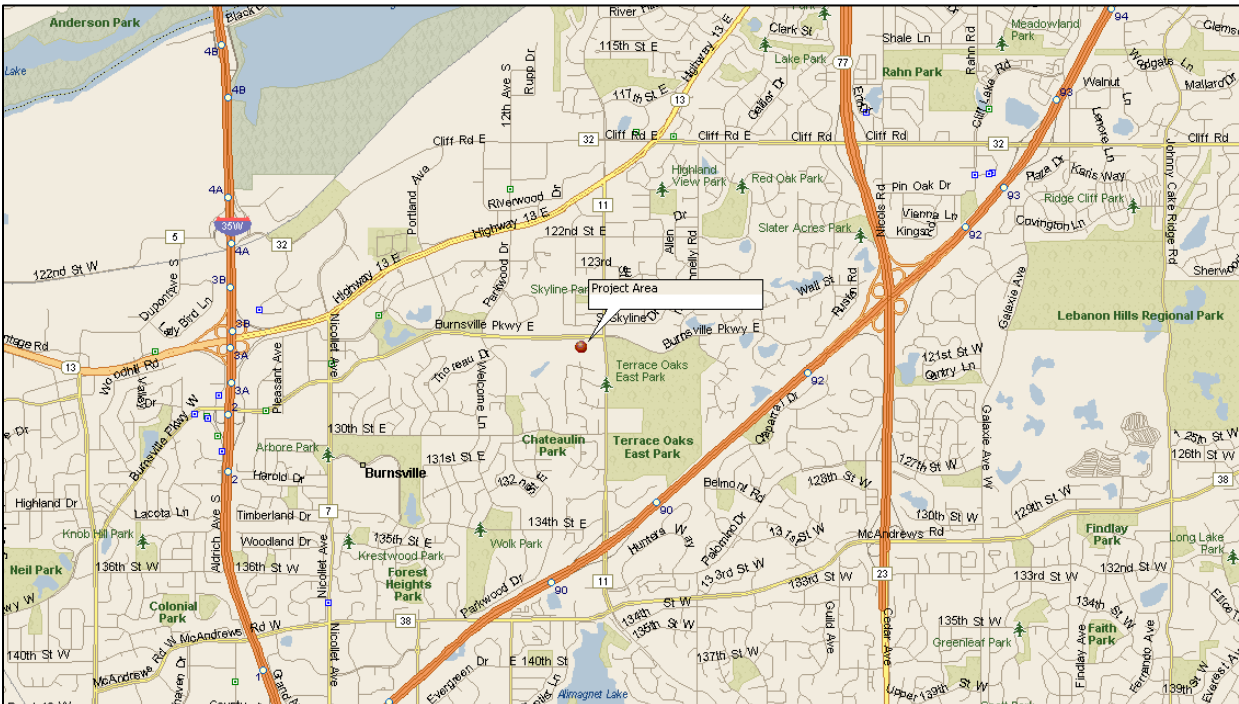


William R. Waytas, SRA
Certified General MN 4000813

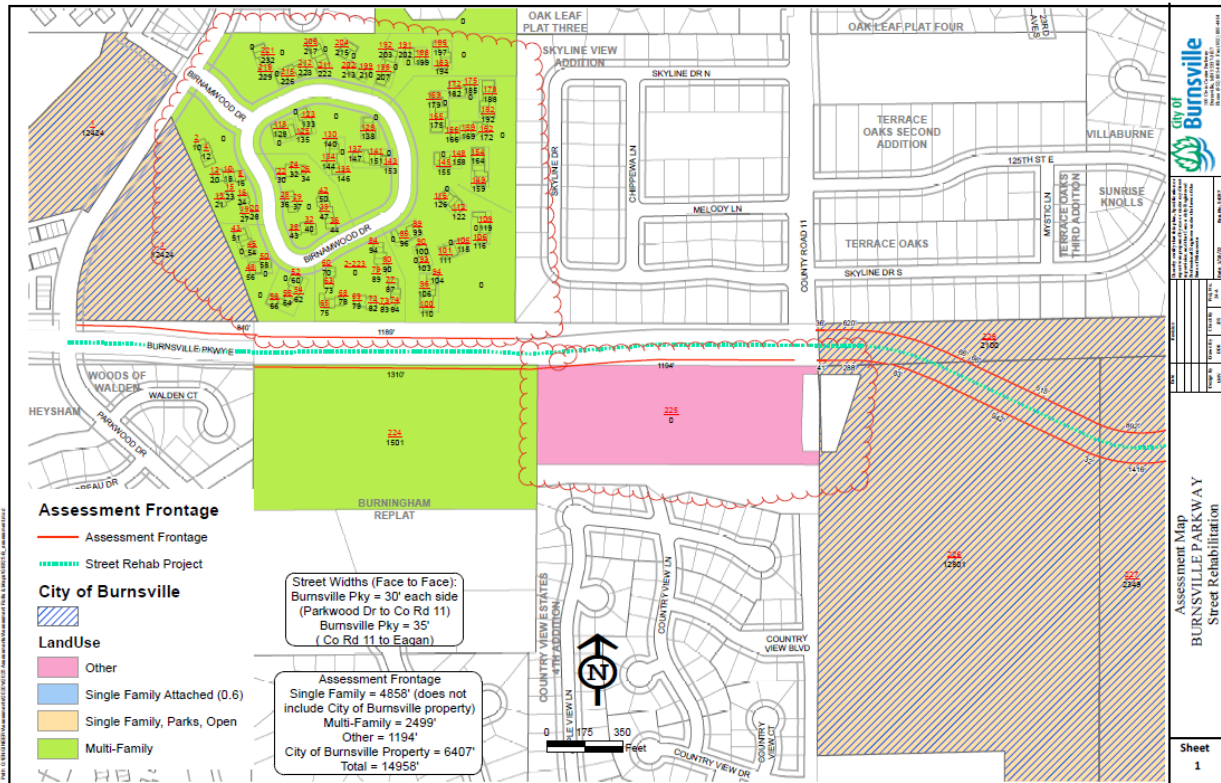
Enclosures: Location Map, Aerial Map View of Project, Subject Photos, Qualifications

www.nagellmn.com

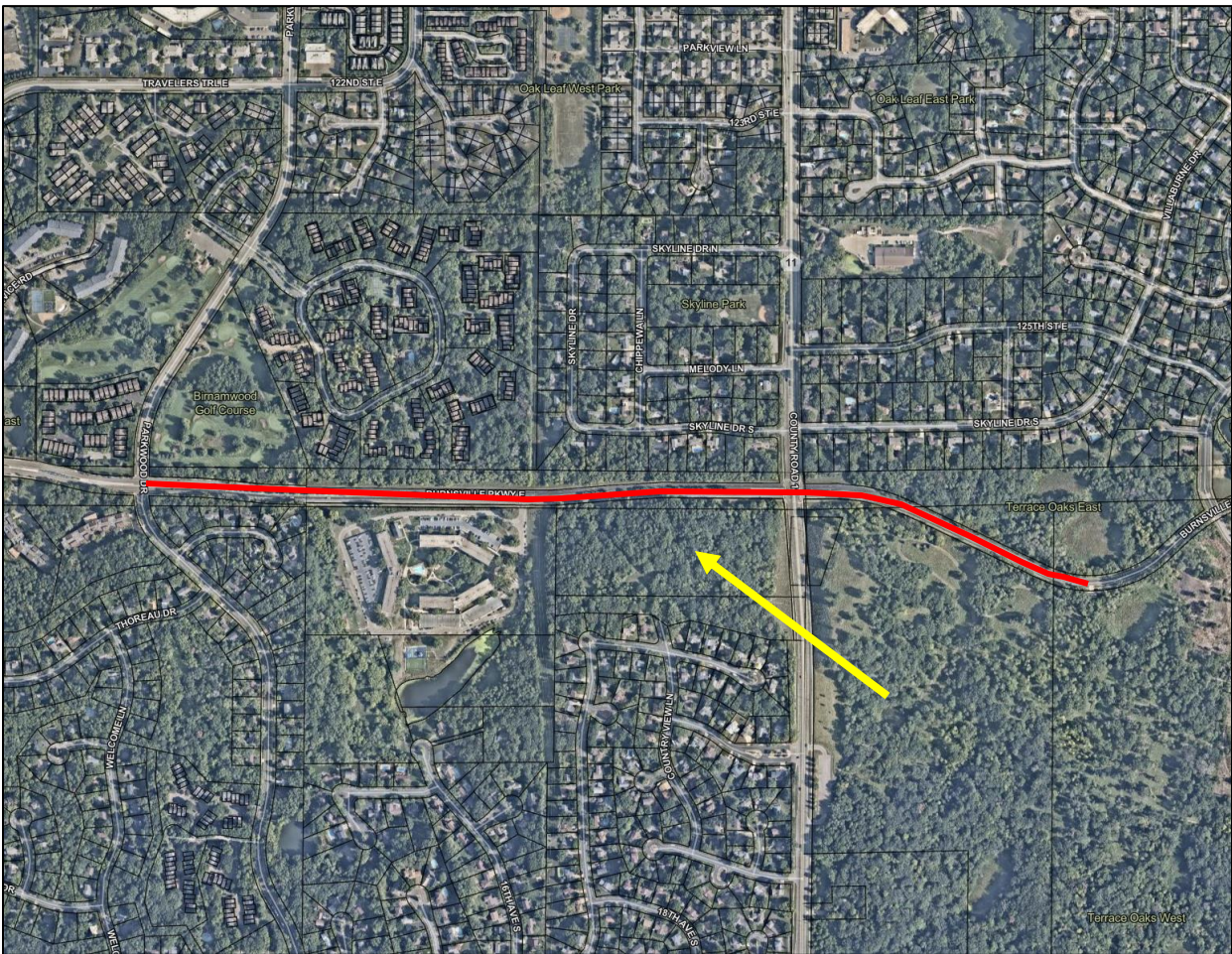
LOCATION MAP



PROJECT MAP



AERIAL VIEW OF PROJECT MAP



The red line reflects the indicated project area. The yellow arrow indicates the subject parcel.

SUBJECT PHOTOGRAPHS



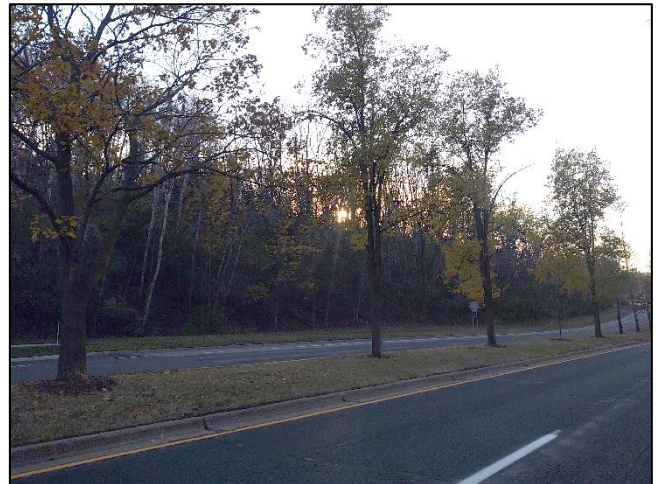
Street view



Street view



Street view



Subject view

DEFINITIONS

MARKET VALUE - The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

(A) buyer and seller are typically motivated;

(B) both parties are well informed or well advised, and acting in what they consider their own best interests;

(C) a reasonable time is allowed for exposure in the open market;

(D) payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and

(E) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

Source: Dictionary of Real Estate Appraisal, Seventh Edition, Appraisal Institute

EXTRAORDINARY ASSUMPTIONS & HYPOTHETICAL CONDITIONS

As stated by USPAP;

Extraordinary Assumption: An assumption, directly related to a specific assignment, which, if found to be false, could alter the appraiser's opinions or conclusions.

None

Hypothetical Condition: That which is contrary to what exists but is supposed for the purpose of analysis.

The provided conclusions assume the project is completed on the same day as the effective date.

The above noted assumptions might have affected the assignment results.

CERTIFICATION

I certify that, to the best of my knowledge and belief:

- 1) The statements of fact contained in this report are true and correct.
- 2) The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analysis, opinions, and conclusions.
- 3) I have no present or prospective interest in the property that is the subject of this report, and no personal interest with respect to the parties involved.
- 4) I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- 5) My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- 6) My compensation for completing this assignment is not contingent upon the development or reporting of predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- 7) My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
- 8) The reported analyses, opinions and conclusions were developed, and this report has been prepared in conformity with the requirements of the Appraisal Institute's Code of Professional Ethics and Standards of Professional Appraisal Practice, which includes the Uniform Standards of Appraisal Practice.
- 9) **William R. Waytas** has made a personal inspection of the streets that are in the project area, as well as viewing surrounding properties. Ethan Waytas, MAI did not personally inspect the project area. Ethan Waytas wrote, analyzed, and selected all the data in the report. William R. Waytas read the report, concurred with the findings, and then co-signed the report.
- 10) No one provided significant professional assistance to the person signing this report.
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- 12) As of the date of this report, William R. Waytas and Ethan Waytas have completed the requirements of the continuing education program of the appraisal institute.
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- 14) We **have not** provided services as an appraiser, regarding the subject property within the 3-year period immediately preceding acceptance to this assignment.



Ethan Waytas, MAI
Certified General MN 40368613
Date: see report



William R. Waytas
Certified General MN 4000813
Date: see report

QUALIFICATIONS

Appraisal Experience

Presently and since 2006, **Ethan Waytas, MAI** has been employed as an employee of Nagell Appraisal Incorporated, an independent appraisal firm (11 employees) who annually prepare 1,500 +/- appraisal reports of all types. He is currently a full time licensed certified general real estate appraiser, partner, and director of the company's IT department.

Properties appraised:

- **Commercial** - low and high-density multi-family, retail, office, industrial, restaurant, church, strip-mall, fast-food, convenience stores, auto-service and repair, cinema, numerous special use properties, golf courses, and subdivision analysis.
- **Residential** – single-family residences, hobby farms, lakeshore, condominiums, townhouses, REO and land.
- **Eminent Domain** – extensive partial and total acquisition appraisal services provided to numerous governmental agencies and private owners.
- **Special Assessment** – numerous street improvement and utilities projects for both governmental and private owners.
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- Court, commission, mediation testimony, etc. has been given

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License: Certified General Real Property Appraiser, MN License #40368613

Holds the MAI designation from the Appraisal Institute

Education

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- Familiar with HUD Handbook 4150.1 REV-1 & other material from local FHA office.
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- Residential Property Construction and Inspection
- Numerous other continuing education seminars for state licensing & AI

Speaking Engagements

- Bankers
- Auditors
- Assessors
- Relocation (Panel Discussion)

Publications

- Real Estate Appraisal Practice (book): Acknowledgement
- Articles for Finance & Commerce and Minnesota Real Estate Journal

Report Type

Real Estate Consulting
Letter Report (Restricted Appraisal)

Effective Date

November 15, 2024

Client

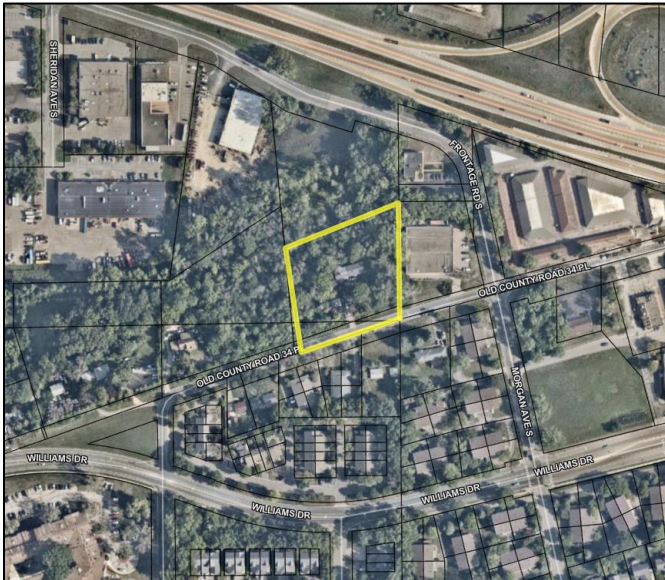
City of Burnsville
Attn: Charlie Gerk, Assistant City Engineer
100 Civic Center Parkway
Burnsville, MN 55337

Subject Property**Street Improvement Project**

2208 Old County Road 34 Place
Burnsville, MN 55337

Project #: 25-A

Owner: Almir & Zumra Puce



File # V2411001 – 2208 Old County Rd 34 Pl

Prepared By:

Ethan Waytas, MAI, Appraiser
William R. Waytas, SRA, Appraiser

Nagell Appraisal Incorporated

12805 Highway 55, Suite 300
Plymouth, Minnesota 55441
Tel: 952.544.8966 | Fax: 952.544.8969

NAGELL APPRAISAL INCORPORATED

12805 Highway 55 #300
Plymouth, MN 55441
Established in 1968

Phone 952-544-8966
Fax 952-544-8969

City of Burnsville
Attn: Charlie Gerk, Assistant City Engineer
100 Civic Center Parkway,
Burnsville, MN 55337

Report Date: November 19, 2024

To Charlie Gerk:

Per your request, this is a letter report to assist the city for guidance regarding a street improvement project within Burnsville (see attached map for the location of the streets in the project).

The following information outlines the scope and intent of this document:

Client: City of Burnsville

Intended User: City of Burnsville

Note: Only the client and name intended user can rely upon this report.

Effective Date: November 15, 2024

Report Type: Restricted Appraisal (as a restricted appraisal, this report may not contain supporting rationale for all of the opinions and conclusions as stated. This information is retained in the workfile)

Intended Use: The intended use of this report is for decision-making purposes regarding a road project and potential special assessments.

Value Provided: Market Value, see rear of report for definition

Interest Provided: Fee Simple

Subject Property: The city requested a single-family home located at 2208 Old County Road 34 Place (PID 020140040021) in Burnsville be analyzed to indicate market benefit.

Scope of Work: William R. Waytas drove the streets in the project area on November 15, 2024 and viewed the subject property from the right-of-way. The appraiser reviewed sales, rents, listings, and costs in the market. The market was analyzed to indicate a benefit range that would be applicable to the project. In addition, the appraiser has completed a cursory review of the zoning and future land use plan. Other research includes prior discussions with market participants and discussion with the city regarding the project.

Sales Comparison Approach: Sales data was analyzed to indicate a market benefit range.

Income Approach: This approach was not applied at this time, as it is considered less reliable given the project and scope of assignment. Homes like the subject are rarely purchased on an investment basis.

Cost Approach: This approach was considered regarding new road costs and physical depreciation. The subject is improved with a single-family home. Given the age of the improvements, the Cost Approach is not considered to be reliable and was therefore not applied.

Subject Use: The subject is designed for a single-family residential occupancy, although the property is zoned CRD, Commercial Recreation and guided BUS, Business/Retail/Office. Public records indicate the structure has an area of 1,543 SF of finished area above grade and was constructed in 1954. The reported site size is 78,907 SF (net of existing right-of-way).

Report Assistance: Ethan Waytas, MAI wrote the report and analyzed the market data. William R. Waytas read the report and agreed with the conclusions.

PROJECT

The City of Burnsville is proposing to complete a reclamation project, which includes new full depth pavement, recompact/new road base, replacing concrete curb and gutter as needed, and repair/replacing existing manhole castings for the storm sewer and sanitary sewer.

Per request, you desire to know the benefit (if any) as it impacts the subject property.

Motivation for the road improvement project appears to stem from deteriorating road surface.

AREA DESCRIPTION

The City of Burnsville is a southern suburban community located approximately 25 minutes from Downtown Minneapolis. Burnsville has experienced growth in recent years and is fairly built-up. Burnsville has convenient access to major connecting roadways (Interstate 35E, Interstate 35W, and State Highway 13.). Access to most shopping and surrounding communities is good. Most existing properties in the area are average to good quality. Minneapolis International Airport is located in the neighboring community of Bloomington as well as the Mall of America, a large tourist attraction.

The population for Burnsville in 2010 was 60,306, up from 60,220 in 2000—a 17.4% increase. The 2020 estimated population is 64,317, a 6.7% increase. The 2022 population estimate is 63,936, a decrease of 0.6% from 2020.

Single family homes generally range in value between \$250,000 and \$700+ in the City Limits with an average of about \$440,000 (MLS statistics). The city is a mixture of residential, industrial, and commercial.

SUBJECT PROPERTY

The subject is improved with a structure that was originally designed as a single-family home. Public records indicate the building has 1,543 SF of finished area above grade and was constructed in 1954. The reported site size, net of existing right-of-way, is 78,907 SF.

The subject parcel is indicated below by the Dakota County GIS system outlined in yellow. A photo of the home taken during the street viewing is on the right and shows the building improvements.



The subject has no prior sales in the past 3 years.

The county indicates the legal description of the subject property is:

PT NW 1/4 COM NE COR S ON E LINE 695.08 FT TO S'LY R/W STH #13 & PT OF BEG W'LY 442.18 FT ON R/W TO E LINE HEDBERG BURNSVILLE 1ST ADD S 05D38M58S E ON E LINE OF PLAT & ITS S'LY EXT 366.40 FT TO PT 80.23 FT S'LY FROM SE COR LOT 3 BLK 2 SAID PLAT S 08D48M08S E 317.60 FT TO C/L RD N 71D06M02S E 282.30 FT ON C/L TO E LINE NW 1/4 N ON E LINE 580.50 FT TO BEG EX PT PLATTED AS BWP ADDITION

EXISTING STREETS & UTILITIES

Physical Condition of the Existing Road: The existing road improvements are asphalt with concrete curb and gutter. The road condition, based on the visual inspection of the streets, is rated to be fair. There are signs of transverse, longitudinal, and alligator cracking. There are also areas of raveling and heaving.

Physical Condition of Existing Utilities: The utilities in the area are public water and sanitary sewer (along with gas and electric). The city indicates that the water and sanitary sewer are in average condition and are mostly not part of the project.

Functional Design of the Road: The existing road is dated, in fair overall condition, and does have substantial large cracks, heaving, raveling, etc. The road condition is rated to be fair.

Road and utility infrastructure in poor to fair condition do not meet the expectations of typical market participants in this suburban market for re-development, resale price, and/or updating the current uses. Overall, the existing street improvements are in fair condition, are beginning to look dated (or function) and reflect likewise on the adjoining and side street properties.

PROPOSED IMPROVEMENTS

The City of Burnsville is proposing to complete a reclamation project, which includes new full depth pavement, recompact/new road base, replacing concrete curb and gutter as needed, and repair/replacing existing manhole castings for the storm sewer and sanitary sewer.

Given the existing condition of the road, the proposed project is logical.

If any of the above descriptions change, the benefit due to the project could differ.

HIGHEST AND BEST USE

The subject project area is located in the western portion of the city in an area of residential, industrial, and commercial properties.

Owners in the subject area appear to update their property as needed when site and building components wear out or become dated. Owners in the overall area commonly pave their driveways or maintain parking lots as needed, recognizing it adds value when done. Therefore, it is logical to update the road and/or utility infrastructure to the subject properties as needed, as these are essential property characteristics that are expected in this market.

An informed buyer would consider the condition of the road, traffic flow/management, and utilities. A well-constructed and good condition road provides aesthetic appeal to a property and efficient/safe traffic flow. Given a choice, a potential informed buyer would likely prefer a newer road with good traffic flow over a deteriorating road with fair traffic flow. Additionally, a potential informed buyer would likely prefer newer utility infrastructure as compared to older, dated and inferior utility infrastructure.

If replacement of components of real estate near the end of their economic life in a home or building is postponed, it can be costlier in the long run; delays in replacing components can result in incurring higher interim maintenance costs and potential difficulty in marketing the property. Also, it is typical for the cost of the replacement of an improvement to increase over time. That said it is logical and prudent for market participants to update/replace dated components when needed.

As vacant, the highest and best use of the subject site is for future commercial development consistent with the zoning and future land use plan. The existing road is dated, a new road would make development of the site more appealing. Development timing is likely 2+ years.

As improved, the highest and best use of the subject is considered to be the existing use, which appears to be a mixture of commercial and residential. The new road will increase the appeal of the property.

DISCUSSION OF MARKET BENEFIT

Listed below are the factors that will be taken into consideration concerning the potential benefit to the properties.

<u>Description</u>	<u>Existing Improvements</u>	<u>Change</u>
1) Road Surface	Fair	New, asphalt
2) Base Condition	Fair	New, asphalt
3) Curb	Fair to Average	Spot replacement as needed
4) Drainage	Average	Average
5) Storm Sewer	Average	Manhole cover updates
6) City water	Average	Average
7) City sewer	Average	Manhole cover updates
8) Sidewalk	None	None
9) Street Lights	Average	Average
10) Functional Design of Road	Dated	Good, new
11) Traffic Management	Average	Average
12) Pedestrian Use (biking, walking, etc.)	Fair	Good
13) Median	n/a	n/a
14) Road Proximity to Properties	n/a	n/a
15) Dust	n/a	n/a
16) Visual Impact on Properties	Fair	Good

Based on the preceding grid, the subject properties will improve in 8 of the 16 categories. Market participants generally recognize that roads and utilities need replacing when nearing the end of a long economic life. A typical buyer in the subject market commonly prefers a good condition paved road surface versus an inferior condition paved road surface. Similarly for utilities, market participants prefer new or newer utilities versus older utilities. In addition to visual benefit, new street improvements provide better and safer use for pedestrians (biking, walking, stroller, rollerblading, etc.) and drivers. The new streets and utilities will enhance potential for re-development and/or updating the current properties. Properties that indirectly/directly abut or have driveways/access that exit on the new street will benefit.

Based on past appraisals, experience, and general market information, it is not uncommon for properties similar to those in the subject market to realize an increase in price for new street improvements.

CONCLUSION

Based on a preliminary analysis, the indicated difference between the value of the subject Before the road project and After the road project is:

Preliminary Market Benefit: \$10,000

Note: This market benefit is preliminary, additional information could result in value revisions. That said, the value is reflective of market data and realities as understood by the appraisers.

If you have additional questions, please do not hesitate to contact us.

Sincerely,



Ethan Waytas, MAI
Certified General MN 40368613

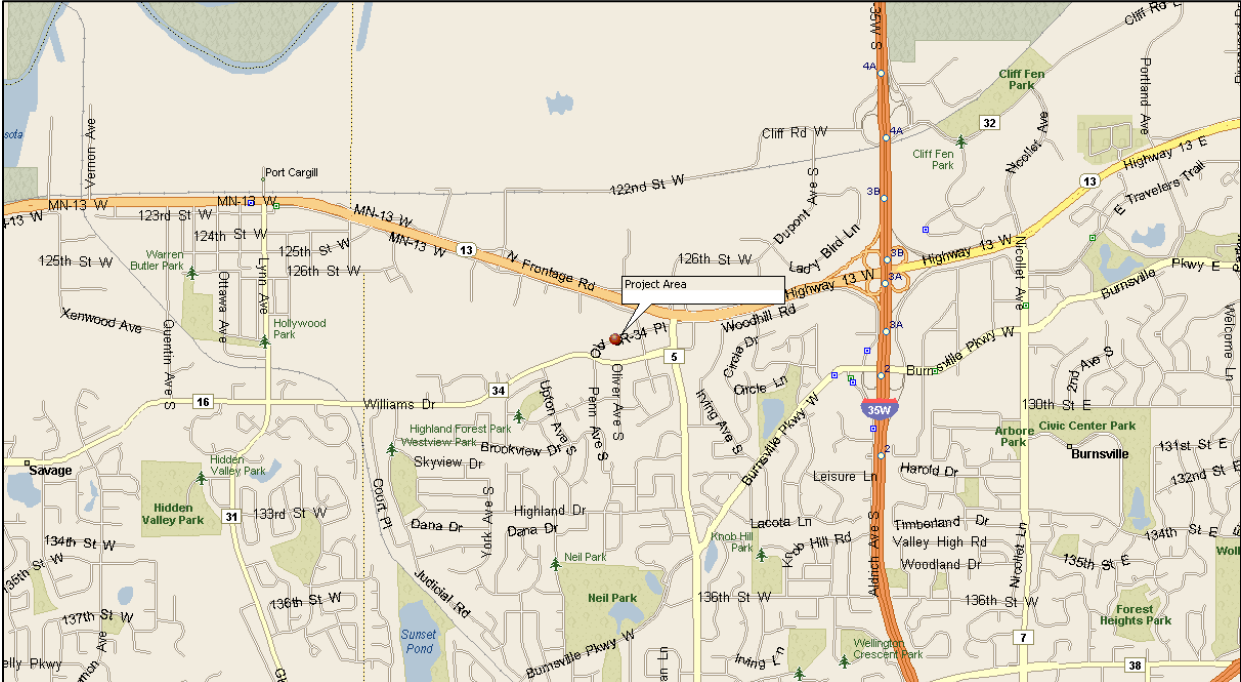


William R. Waytas, SRA
Certified General MN 4000813

Enclosures: Location Map, Aerial Map View of Project, Subject Photos, Qualifications

www.nagellmn.com

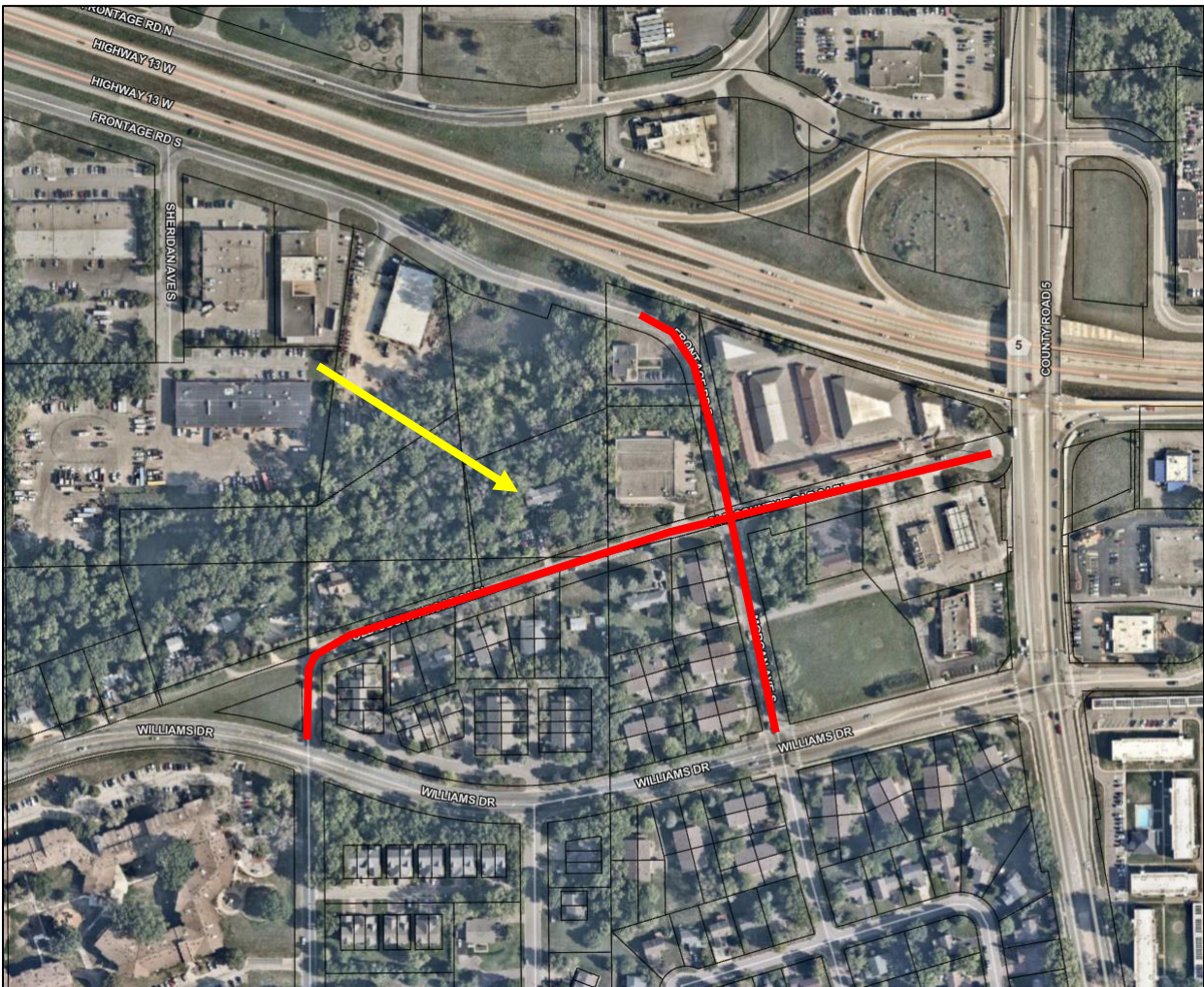
LOCATION MAP



PROJECT MAP



AERIAL VIEW OF PROJECT MAP



The red line reflects the indicated project area. The yellow arrow indicates the subject parcel.

SUBJECT PHOTOGRAPHS



Street view



Street view



Street view



Street view

DEFINITIONS

MARKET VALUE - The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

(A) buyer and seller are typically motivated;

(B) both parties are well informed or well advised, and acting in what they consider their own best interests;

(C) a reasonable time is allowed for exposure in the open market;

(D) payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and

(E) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

Source: Dictionary of Real Estate Appraisal, Seventh Edition, Appraisal Institute

EXTRAORDINARY ASSUMPTIONS & HYPOTHETICAL CONDITIONS

As stated by USPAP;

Extraordinary Assumption: An assumption, directly related to a specific assignment, which, if found to be false, could alter the appraiser's opinions or conclusions.

None

Hypothetical Condition: That which is contrary to what exists but is supposed for the purpose of analysis.

The provided conclusions assume the project is completed on the same day as the effective date.

The above noted assumptions might have affected the assignment results.

CERTIFICATION

I certify that, to the best of my knowledge and belief:

- 1) The statements of fact contained in this report are true and correct.
- 2) The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analysis, opinions, and conclusions.
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- Bankers
- Auditors
- Assessors
- Relocation (Panel Discussion)

Publications

- Real Estate Appraisal Practice (book): Acknowledgement
- Articles for Finance & Commerce and Minnesota Real Estate Journal

Report Type

Real Estate Consulting
Letter Report (Restricted Appraisal)

Effective Date

November 15, 2024

Client

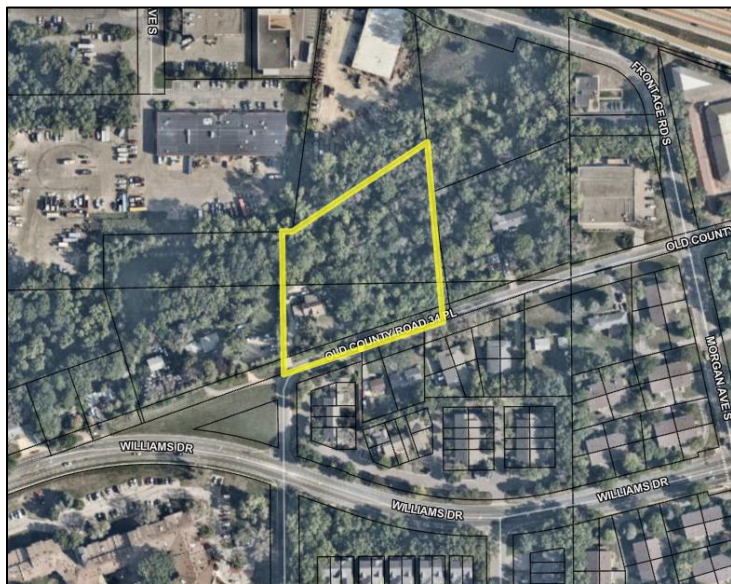
City of Burnsville
Attn: Charlie Gerk, Assistant City Engineer
100 Civic Center Parkway
Burnsville, MN 55337

Subject Property**Street Improvement Project**

2316 Old County Road 34 Place
Burnsville, MN 55337

Project #: 25-A

Owner: Marcos D Gomez



File # V2411001 – 2316 Old County Rd 34 Pl

Prepared By:

Ethan Waytas, MAI, Appraiser
William R. Waytas, SRA, Appraiser

Nagell Appraisal Incorporated

12805 Highway 55, Suite 300
Plymouth, Minnesota 55441
Tel: 952.544.8966 | Fax: 952.544.8969

NAGELL APPRAISAL INCORPORATED

12805 Highway 55 #300
Plymouth, MN 55441
Established in 1968

Phone 952-544-8966
Fax 952-544-8969

City of Burnsville
Attn: Charlie Gerk, Assistant City Engineer
100 Civic Center Parkway,
Burnsville, MN 55337

Report Date: November 19, 2024

To Charlie Gerk:

Per your request, this is a letter report to assist the city for guidance regarding a street improvement project within Burnsville (see attached map for the location of the streets in the project).

The following information outlines the scope and intent of this document:

Client: City of Burnsville

Intended User: City of Burnsville

Note: Only the client and name intended user can rely upon this report.

Effective Date: November 15, 2024

Report Type: Restricted Appraisal (as a restricted appraisal, this report may not contain supporting rationale for all of the opinions and conclusions as stated. This information is retained in the workfile)

Intended Use: The intended use of this report is for decision-making purposes regarding a road project and potential special assessments.

Value Provided: Market Value, see rear of report for definition

Interest Provided: Fee Simple

Subject Property: The city requested a single-family home located at 2316 Old County Road 34 Place (PID 020140040010) in Burnsville be analyzed to indicate market benefit.

Scope of Work: William R. Waytas drove the streets in the project area on November 15, 2024 and viewed the subject property from the right-of-way. The appraiser reviewed sales, rents, listings, and costs in the market. The market was analyzed to indicate a benefit range that would be applicable to the project. In addition, the appraiser has completed a cursory review of the zoning and future land use plan. Other research includes prior discussions with market participants and discussion with the city regarding the project.

Sales Comparison Approach: Sales data was analyzed to indicate a market benefit range.

Income Approach: This approach was not applied at this time, as it is considered less reliable given the project and scope of assignment. Homes like the subject are rarely purchased on an investment basis.

Cost Approach: This approach was considered regarding new road costs and physical depreciation. The subject is improved with a single-family home. Given the age of the improvements, the Cost Approach is not considered to be reliable and was therefore not applied.

Subject Use: The subject is designed for a single-family residential occupancy, although the property is zoned CRD, Commercial Recreation and guided BUS, Business/Retail/Office. Public records indicate the structure has an area of 1,727 SF of finished area above grade and was constructed in 1930. The reported site size is 111,406 SF (net of existing right-of-way).

Report Assistance: Ethan Waytas, MAI wrote the report and analyzed the market data. William R. Waytas read the report and agreed with the conclusions.

PROJECT

The City of Burnsville is proposing to complete a reclamation project, which includes new full depth pavement, recompact/new road base, replacing concrete curb and gutter as needed, and repair/replacing existing manhole castings for the storm sewer and sanitary sewer.

Per request, you desire to know the benefit (if any) as it impacts the subject property.

Motivation for the road improvement project appears to stem from deteriorating road surface.

AREA DESCRIPTION

The City of Burnsville is a southern suburban community located approximately 25 minutes from Downtown Minneapolis. Burnsville has experienced growth in recent years and is fairly built-up. Burnsville has convenient access to major connecting roadways (Interstate 35E, Interstate 35W, and State Highway 13.). Access to most shopping and surrounding communities is good. Most existing properties in the area are average to good quality. Minneapolis International Airport is located in the neighboring community of Bloomington as well as the Mall of America, a large tourist attraction.

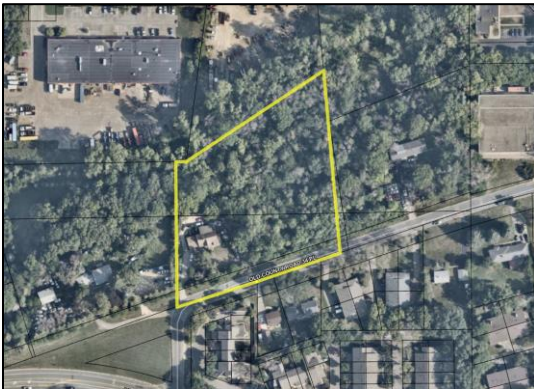
The population for Burnsville in 2010 was 60,306, up from 60,220 in 2000—a 17.4% increase. The 2020 estimated population is 64,317, a 6.7% increase. The 2022 population estimate is 63,936, a decrease of 0.6% from 2020.

Single family homes generally range in value between \$250,000 and \$700+ in the City Limits with an average of about \$440,000 (MLS statistics). The city is a mixture of residential, industrial, and commercial.

SUBJECT PROPERTY

The subject is improved with a structure that was originally designed as a single-family home. Public records indicate the building has 1,727 SF of finished area above grade and was constructed in 1954. The reported site size, net of existing right-of-way, is 111,406 SF.

The subject parcel is indicated below by the Dakota County GIS system outlined in yellow. A Google Street view photo is on the right and shows the building improvements.



The subject has no prior sales in the past 3 years. There was a contract-for-deed payoff on June 29, 2022. The original purchase was May 5, 2011. Given the payoff nature, the 2022 transaction is not considered market appropriate.

The county indicates the legal description of the subject property is:

PT OF NW 1/4 COM SW COR OF E 1/2 OF NE 1/4 OF NW 1/4 N 120 FT N 89D 37M 43S E 23.39 FT N 57D E 361.89 FT S 4D 45M E 80.23 FT S 7D 54 M 10S E 317.60 FT TO CEN TH#13 S 72D W ON CEN 398.18 FT TO W L E 1/2 OF SE 1/4 OF NW 1/4 N 200.33 FT TO BEG

EXISTING STREETS & UTILITIES

Physical Condition of the Existing Road: The existing road improvements are asphalt with concrete curb and gutter. The road condition, based on the visual inspection of the streets, is rated to be fair. There are signs of transverse, longitudinal, and alligator cracking. There are also areas of raveling and heaving.

Physical Condition of Existing Utilities: The utilities in the area are public water and sanitary sewer (along with gas and electric). The city indicates that the water and sanitary sewer are in average condition and are mostly not part of the project.

Functional Design of the Road: The existing road is dated, in fair overall condition, and does have substantial large cracks, heaving, raveling, etc. The road condition is rated to be fair.

Road and utility infrastructure in poor to fair condition do not meet the expectations of typical market participants in this suburban market for re-development, resale price, and/or updating the current uses. Overall, the existing street improvements are in fair condition, are beginning to look dated (or function) and reflect likewise on the adjoining and side street properties.

PROPOSED IMPROVEMENTS

The City of Burnsville is proposing to complete a reclamation project, which includes new full depth pavement, recompact/new road base, replacing concrete curb and gutter as needed, and repair/replacing existing manhole castings for the storm sewer and sanitary sewer.

Given the existing condition of the road, the proposed project is logical.

If any of the above descriptions change, the benefit due to the project could differ.

HIGHEST AND BEST USE

The subject project area is located in the western portion of the city in an area of residential, industrial, and commercial properties.

Owners in the subject area appear to update their property as needed when site and building components wear out or become dated. Owners in the overall area commonly pave their driveways or maintain parking lots as needed, recognizing it adds value when done. Therefore, it is logical to update the road and/or utility infrastructure to the subject properties as needed, as these are essential property characteristics that are expected in this market.

An informed buyer would consider the condition of the road, traffic flow/management, and utilities. A well-constructed and good condition road provides aesthetic appeal to a property and efficient/safe traffic flow. Given a choice, a potential informed buyer would likely prefer a newer road with good traffic flow over a deteriorating road with fair traffic flow. Additionally, a potential informed buyer would likely prefer newer utility infrastructure as compared to older, dated and inferior utility infrastructure.

If replacement of components of real estate near the end of their economic life in a home or building is postponed, it can be costlier in the long run; delays in replacing components can result in incurring higher interim maintenance costs and potential difficulty in marketing the property. Also, it is typical for the cost of the replacement of an improvement to increase over time. That said it is logical and prudent for market participants to update/replace dated components when needed.

As vacant, the highest and best use of the subject site is for future commercial development consistent with the zoning and future land use plan. The existing road is dated, a new road would make development of the site more appealing. Development timing is likely 2+ years.

As improved, the highest and best use of the subject is considered to be the existing use, which appears to be a mixture of commercial and residential. The new road will increase the appeal of the property.

DISCUSSION OF MARKET BENEFIT

Listed below are the factors that will be taken into consideration concerning the potential benefit to the properties.

<u>Description</u>	<u>Existing Improvements</u>	<u>Change</u>
1) Road Surface	Fair	New, asphalt
2) Base Condition	Fair	New, asphalt
3) Curb	Fair to Average	Spot replacement as needed
4) Drainage	Average	Average
5) Storm Sewer	Average	Manhole cover updates
6) City water	Average	Average
7) City sewer	Average	Manhole cover updates
8) Sidewalk	None	None
9) Street Lights	Average	Average
10) Functional Design of Road	Dated	Good, new
11) Traffic Management	Average	Average
12) Pedestrian Use (biking, walking, etc.)	Fair	Good
13) Median	n/a	n/a
14) Road Proximity to Properties	n/a	n/a
15) Dust	n/a	n/a
16) Visual Impact on Properties	Fair	Good

Based on the preceding grid, the subject properties will improve in 8 of the 16 categories. Market participants generally recognize that roads and utilities need replacing when nearing the end of a long economic life. A typical buyer in the subject market commonly prefers a good condition paved road surface versus an inferior condition paved road surface. Similarly for utilities, market participants prefer new or newer utilities versus older utilities. In addition to visual benefit, new street improvements provide better and safer use for pedestrians (biking, walking, stroller, rollerblading, etc.) and drivers. The new streets and utilities will enhance potential for re-development and/or updating the current properties. Properties that indirectly/directly abut or have driveways/access that exit on the new street will benefit.

Based on past appraisals, experience, and general market information, it is not uncommon for properties similar to those in the subject market to realize an increase in price for new street improvements.

CONCLUSION

Based on a preliminary analysis, the indicated difference between the value of the subject Before the road project and After the road project is:

Preliminary Market Benefit: \$12,000

Note: This market benefit is preliminary, additional information could result in value revisions. That said, the value is reflective of market data and realities as understood by the appraisers.

If you have additional questions, please do not hesitate to contact us.

Sincerely,



Ethan Waytas, MAI
Certified General MN 40368613

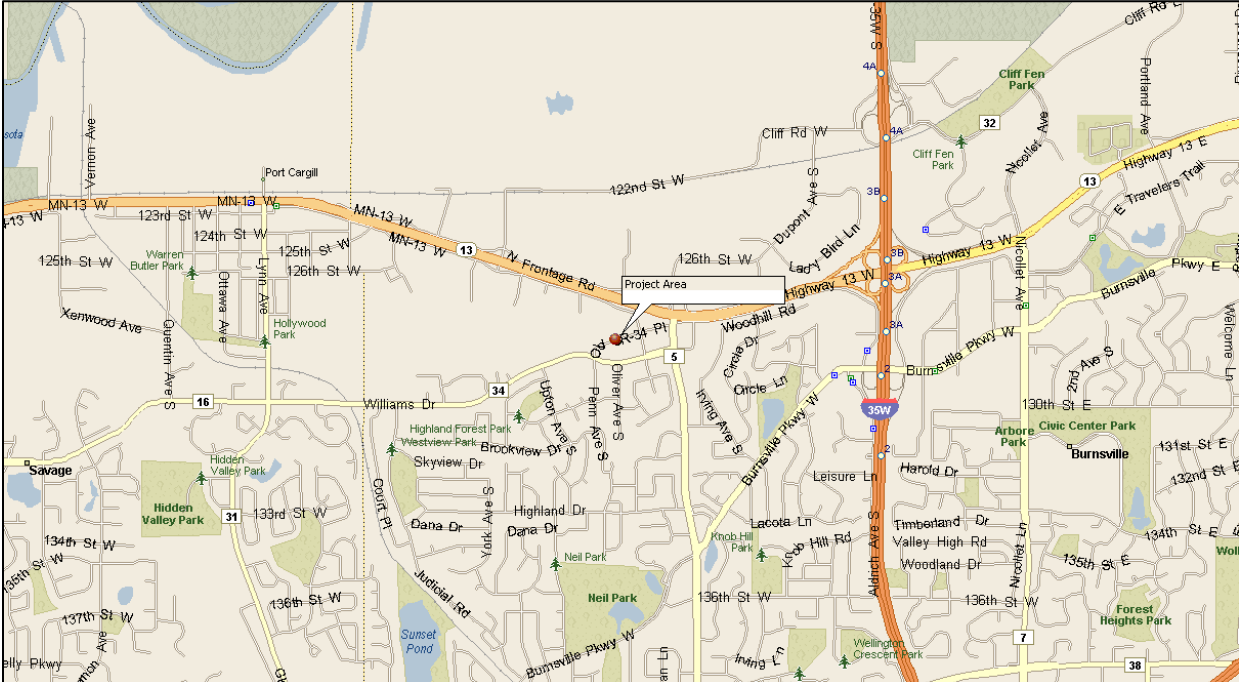


William R. Waytas, SRA
Certified General MN 4000813

Enclosures: Location Map, Aerial Map View of Project, Subject Photos, Qualifications

www.nagellmn.com

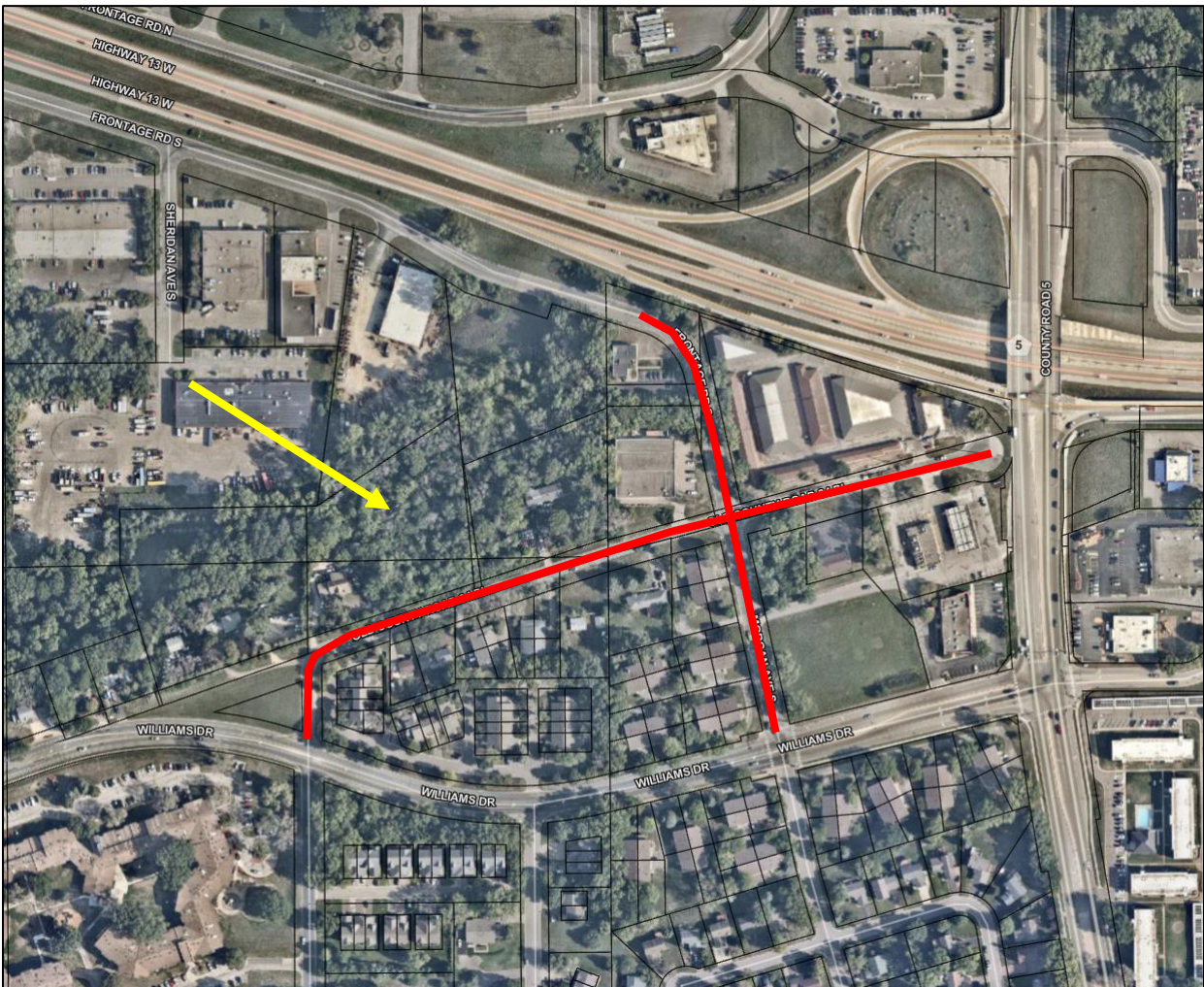
LOCATION MAP



PROJECT MAP



AERIAL VIEW OF PROJECT MAP



The red line reflects the indicated project area. The yellow arrow indicates the subject parcel.

SUBJECT PHOTOGRAPHS



Street view



Street view



Street view



Street view

DEFINITIONS

MARKET VALUE - The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

(A) buyer and seller are typically motivated;

(B) both parties are well informed or well advised, and acting in what they consider their own best interests;

(C) a reasonable time is allowed for exposure in the open market;

(D) payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and

(E) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

Source: Dictionary of Real Estate Appraisal, Seventh Edition, Appraisal Institute

EXTRAORDINARY ASSUMPTIONS & HYPOTHETICAL CONDITIONS

As stated by USPAP;

Extraordinary Assumption: An assumption, directly related to a specific assignment, which, if found to be false, could alter the appraiser's opinions or conclusions.

None

Hypothetical Condition: That which is contrary to what exists but is supposed for the purpose of analysis.

The provided conclusions assume the project is completed on the same day as the effective date.

The above noted assumptions might have affected the assignment results.

CERTIFICATION

I certify that, to the best of my knowledge and belief:

- 1) The statements of fact contained in this report are true and correct.
- 2) The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analysis, opinions, and conclusions.
- 3) I have no present or prospective interest in the property that is the subject of this report, and no personal interest with respect to the parties involved.
- 4) I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- 5) My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- 6) My compensation for completing this assignment is not contingent upon the development or reporting of predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- 7) My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
- 8) The reported analyses, opinions and conclusions were developed, and this report has been prepared in conformity with the requirements of the Appraisal Institute's Code of Professional Ethics and Standards of Professional Appraisal Practice, which includes the Uniform Standards of Appraisal Practice.
- 9) **William R. Waytas** has made a personal inspection of the streets that are in the project area, as well as viewing surrounding properties. Ethan Waytas, MAI did not personally inspect the project area. Ethan Waytas wrote, analyzed, and selected all the data in the report. William R. Waytas read the report, concurred with the findings, and then co-signed the report.
- 10) No one provided significant professional assistance to the person signing this report.
- 11) In accordance with the competency provision USPAP, I have verified that my knowledge, experience and education are sufficient to allow me to competently complete this appraisal. See attached qualifications.
- 12) As of the date of this report, William R. Waytas and Ethan Waytas have completed the requirements of the continuing education program of the appraisal institute.
- 13) The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representative.
- 14) We **have not** provided services as an appraiser, regarding the subject property within the 3-year period immediately preceding acceptance to this assignment.



Ethan Waytas, MAI
Certified General MN 40368613
Date: see report



William R. Waytas
Certified General MN 4000813
Date: see report

QUALIFICATIONS

Appraisal Experience

Presently and since 2006, **Ethan Waytas, MAI** has been employed as an employee of Nagell Appraisal Incorporated, an independent appraisal firm (11 employees) who annually prepare 1,500 +/- appraisal reports of all types. He is currently a full time licensed certified general real estate appraiser, partner, and director of the company's IT department.

Properties appraised:

- **Commercial** - low and high-density multi-family, retail, office, industrial, restaurant, church, strip-mall, fast-food, convenience stores, auto-service and repair, cinema, numerous special use properties, golf courses, and subdivision analysis.
- **Residential** – single-family residences, hobby farms, lakeshore, condominiums, townhouses, REO and land.
- **Eminent Domain** – extensive partial and total acquisition appraisal services provided to numerous governmental agencies and private owners.
- **Special Assessment** – numerous street improvement and utilities projects for both governmental and private owners.
- **Clients** - served include banks, savings and loan associations, trust companies, corporations, governmental bodies, relocation companies, attorneys, REO companies, accountants and private individuals.
- **Area of Service** - most appraisal experience is in the greater Twin Cities Metro Area (typically an hour from downtown metro). Numerous assignments throughout Minnesota.

Testimony

- Court, commission, mediation testimony, etc. has been given

Professional Membership, Associations & Affiliations

License: Certified General Real Property Appraiser, MN License #40368613

Holds the MAI designation from the Appraisal Institute

Education

- Graduate of the University of Minnesota: College of Science and Engineering, Twin Cities Campus
Bachelor of Science in Computer Science, with distinction, 3.86 GPA.
- **General & Professional Practice Courses & Seminars**
- Basic Appraisal Procedures
- Basic Appraisal Principles
- 2012-2013 15-Hour National Uniform Standards of Professional Appraisal Practice
- General Appraiser Sales Comparison Approach
- General Appraiser Income Approach – Part 1
- General Appraiser Income Approach – Part 2
- Advanced Income Capitalization
- General Appraiser Report Writing and Case Studies
- Real Estate Finance, Statistics and Valuation Modeling
- 2014-2015 7-hour National USPAP Update Course
- General Appraiser Site Valuation & Cost Approach
- Advanced Market Analysis and Highest & Best Use
- Advanced Concepts & Case Studies
- Quantitative Analysis

Curriculum Vitae -- continued

Appraisal Experience

Presently and since 1985, **William R. Waytas** has been employed as a full time real estate appraiser. Currently a partner and President of the Nagell Appraisal & Consulting, an independent appraisal firm (11 employees) who annually prepare 1,500 +/- appraisal reports of all types. Mr. Waytas was employed with Iver C. Johnson & Company, Ltd., Phoenix, AZ from 1985 to 1987.

Properties appraised:

- **Commercial** - low and high-density multi-family, retail, office, industrial, restaurant, church, strip-mall, fast-food, convenience stores, auto-service and repair, hotel, hotel water park, bed & breakfast, cinema, marina, numerous special use properties, and subdivision analysis.
- **Residential** – single-family residences, hobby farms, lakeshore, condominiums, townhouses, REO and land.
- **Eminent Domain** – extensive partial and total acquisition appraisal services provided to numerous governmental agencies and private owners.
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- **Review** – residential, commercial and land development.
- **Clients** - served include banks, savings and loan associations, trust companies, corporations, governmental bodies, relocation companies, attorneys, REO companies, accountants and private individuals.
- **Area of Service** - most appraisal experience is in the greater Twin Cities Metro Area (typically an hour from downtown metro). Numerous assignments throughout Minnesota.

Professional Membership, Associations & Affiliations

License: Certified General Real Property Appraiser, MN License #4000813.
Appraisal Institute: SRA, Senior Residential Appraiser Designation,
General Associate Member
Employee Relocation Council: CRP Certified Relocation Professional Designation.
International Right-Of-Way Association: Member
HUD/FHA: On Lender Selection Roster and Review Appraiser
DNR: Approved appraiser for Department of Natural Resources

Testimony

-- Court, deposition, commission, arbitration & administrative testimony given.

Mediator

-- Court appointed in Wright County.

Committees

-- President of Metro/Minnesota Chapter, 2002, Appraisal Institute.
-- Chairman of Residential Admissions, Metro/MN Chapter, AI.
-- Chairman Residential Candidate Guidance, Metro/Minnesota Chapter, AI.
-- Elm Creek Watershed Commission, Medina representative 3 years.
-- Medina Park Commission, 3 years.

Curriculum Vitae -- continued

Education

- Graduate of Bemidji State University, Minnesota. B.S. degree in Bus. Ad.
- During college, summer employment in building trades (residential and commercial).
- Graduate of Cecil Lawter Real Estate School. Past Arizona Real Estate License.
- **General & Professional Practice Courses & Seminars**
- Course 101-Introduction to Appraising Real Property.
- Numerous Standards of Professional Practice Seminar.
- Fair Lending Seminar.
- Eminent Domain & Condemnation Appraising.
- Eminent Domain (An In-Depth Analysis)
- Property Tax Appeal
- Eminent Domain
- Business Practices and Ethics
- Scope of Work
- Construction Disturbances and Temporary Loss of Going Concern
- Uniform Standards for Federal Land Acquisitions (Yellow Book Seminar)
- Partial Interest Valuation Divided (conservation easements, historic preservation easements, life estates, subsurface rights, access easements, air rights, water rights, transferable development rights)
- **Commercial/Industrial/Subdivision Courses & Seminars**
- Capitalization Theory & Techniques
- Highest & Best Use Seminar
- General & Residential State Certification Review Seminar
- Subdivision Analysis Seminar.
- Narrative Report Writing Seminar (general)
- Advanced Income Capitalization Seminar
- Advanced Industrial Valuation
- Appraisal of Local Retail Properties
- Appraising Convenience Stores
- Analyzing Distressed Real Estate
- Evaluating Commercial Construction
- Fundamentals of Separating Real Property, Personal Property and Intangible Business Assets
- **Residential Courses & Seminars**
- Course 102-Applied Residential Appraising
- Narrative Report Writing Seminar (residential)
- HUD Training session local office for FHA appraisals
- Familiar with HUD Handbook 4150.1 REV-1 & other material from local FHA office.
- Appraiser/Underwriter FHA Training
- Residential Property Construction and Inspection
- Numerous other continuing education seminars for state licensing & AI

Speaking Engagements

- Bankers
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- Assessors
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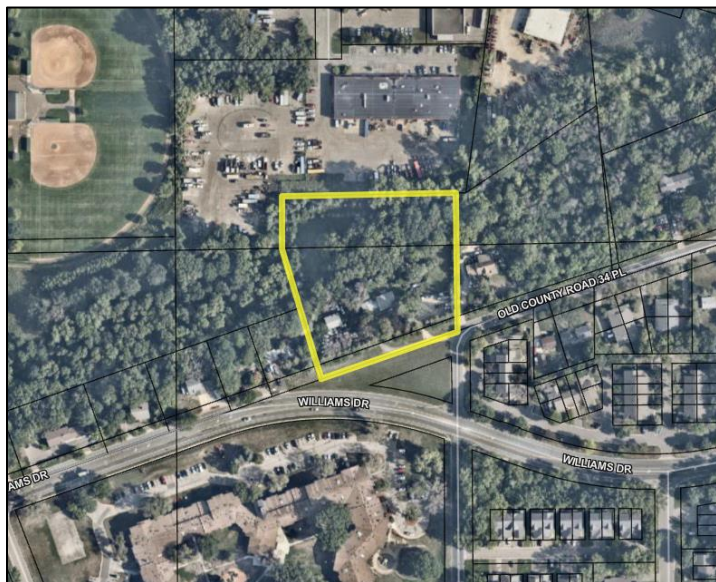
City of Burnsville
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Burnsville, MN 55337

Project #: 25-A

Owner: Equitron Holdings LLC



File # V2411001 – 2420 Old County Rd 34 Pl

Prepared By:

Ethan Waytas, MAI, Appraiser
William R. Waytas, SRA, Appraiser

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Cost Approach: This approach was considered regarding new road costs and physical depreciation. The subject is improved with a single-family home. Given the age of the improvements, the Cost Approach is not considered to be reliable and was therefore not applied.

Subject Use: The subject is designed for a single-family residential occupancy. The site is zoned R1, Single Family Residential and is guided LDR, Low Density Residential (density of 2 to 6 units per acre). Public records indicate the structure has an area of 1,244 SF of finished area above grade, a 2,344 SF garage, and was constructed in 1955. The reported site size is 128,292 SF (net of existing right-of-way).

Report Assistance: Ethan Waytas, MAI wrote the report and analyzed the market data. William R. Waytas read the report and agreed with the conclusions.

PROJECT

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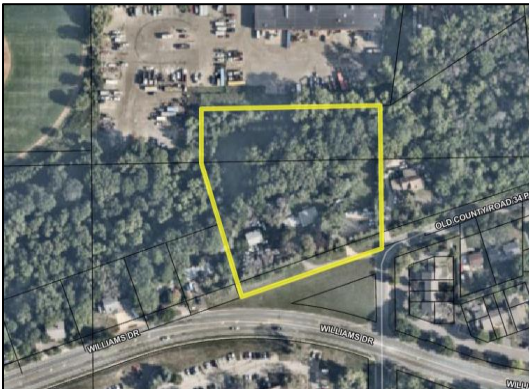
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The subject has no prior sales in the past 3 years.

The county indicates the legal description of the subject property is:

E 400 FT OF S 120 FT OF W 1/2 OF NE 1/4 OF NW 1/4 & COM INT E LINE W 1/2 OF SE 1/4 OF NW 1/4 & N R/W SH #13 SW ON R/W 337.8 FT NW TO PT ON N LINE W 1/2 OF SE 1/4 OF NW 1/4 400 FT W OF E LINE W 1/2 OF SE 1/4 OF NW 1/4 E 400 FT S 166.17 FT TO BEG

EXISTING STREETS & UTILITIES

Physical Condition of the Existing Road: The existing road improvements are asphalt with concrete curb and gutter. The road condition, based on the visual inspection of the streets, is rated to be fair. There are signs of transverse, longitudinal, and alligator cracking. There are also areas of raveling and heaving.

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The subject project area is located in the western portion of the city in an area of residential, industrial, and commercial properties.

Owners in the subject area appear to update their property as needed when site and building components wear out or become dated. Owners in the overall area commonly pave their driveways or maintain parking lots as needed, recognizing it adds value when done. Therefore, it is logical to update the road and/or utility infrastructure to the subject properties as needed, as these are essential property characteristics that are expected in this market.

An informed buyer would consider the condition of the road, traffic flow/management, and utilities. A well-constructed and good condition road provides aesthetic appeal to a property and efficient/safe traffic flow. Given a choice, a potential informed buyer would likely prefer a newer road with good traffic flow over a deteriorating road with fair traffic flow. Additionally, a potential informed buyer would likely prefer newer utility infrastructure as compared to older, dated and inferior utility infrastructure.

If replacement of components of real estate near the end of their economic life in a home or building is postponed, it can be costlier in the long run; delays in replacing components can result in incurring higher interim maintenance costs and potential difficulty in marketing the property. Also, it is typical for the cost of the replacement of an improvement to increase over time. That said it is logical and prudent for market participants to update/replace dated components when needed.

As vacant, the highest and best use of the subject site is for future residential use consistent with the zoning and future land use plan. The existing road is dated, a new road would make development of the site more appealing. Development timing is likely 2+ years.

As improved, the highest and best use of the subject is considered to be the existing use, which appears to be a mixture of commercial and residential. The new road will increase the appeal of the property.

DISCUSSION OF MARKET BENEFIT

Listed below are the factors that will be taken into consideration concerning the potential benefit to the properties.

<u>Description</u>	<u>Existing Improvements</u>	<u>Change</u>
1) Road Surface	Fair	New, asphalt
2) Base Condition	Fair	New, asphalt
3) Curb	Fair to Average	Spot replacement as needed
4) Drainage	Average	Average
5) Storm Sewer	Average	Manhole cover updates
6) City water	Average	Average
7) City sewer	Average	Manhole cover updates
8) Sidewalk	None	None
9) Street Lights	Average	Average
10) Functional Design of Road	Dated	Good, new
11) Traffic Management	Average	Average
12) Pedestrian Use (biking, walking, etc.)	Fair	Good
13) Median	n/a	n/a
14) Road Proximity to Properties	n/a	n/a
15) Dust	n/a	n/a
16) Visual Impact on Properties	Fair	Good

Based on the preceding grid, the subject properties will improve in 8 of the 16 categories. Market participants generally recognize that roads and utilities need replacing when nearing the end of a long economic life. A typical buyer in the subject market commonly prefers a good condition paved road surface versus an inferior condition paved road surface. Similarly for utilities, market participants prefer new or newer utilities versus older utilities. In addition to visual benefit, new street improvements provide better and safer use for pedestrians (biking, walking, stroller, rollerblading, etc.) and drivers. The new streets and utilities will enhance potential for re-development and/or updating the current properties. Properties that indirectly/directly abut or have driveways/access that exit on the new street will benefit.

Based on past appraisals, experience, and general market information, it is not uncommon for properties similar to those in the subject market to realize an increase in price for new street improvements.

CONCLUSION

Based on a preliminary analysis, the indicated difference between the value of the subject Before the road project and After the road project is:

Preliminary Market Benefit: \$8,000

Note: This market benefit is preliminary, additional information could result in value revisions. That said, the value is reflective of market data and realities as understood by the appraisers.

If you have additional questions, please do not hesitate to contact us.

Sincerely,



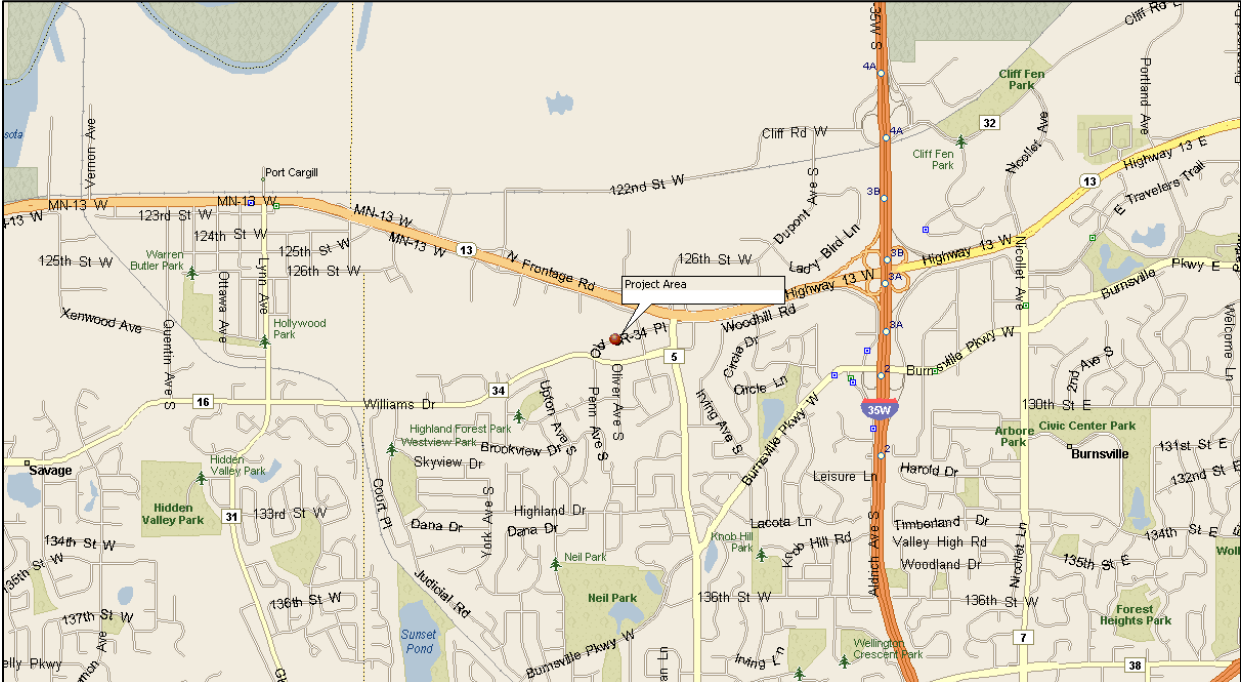
Ethan Waytas, MAI
Certified General MN 40368613



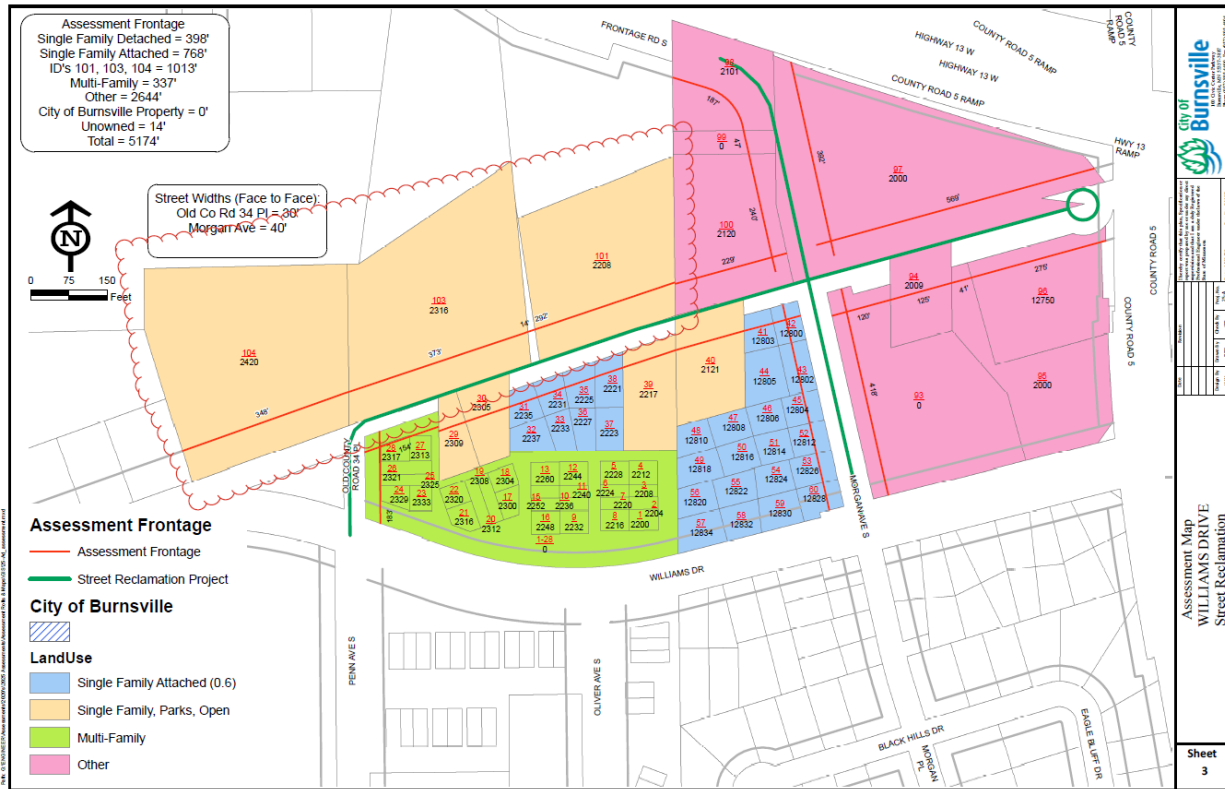
William R. Waytas, SRA
Certified General MN 4000813

Enclosures: Location Map, Aerial Map View of Project, Subject Photos, Qualifications

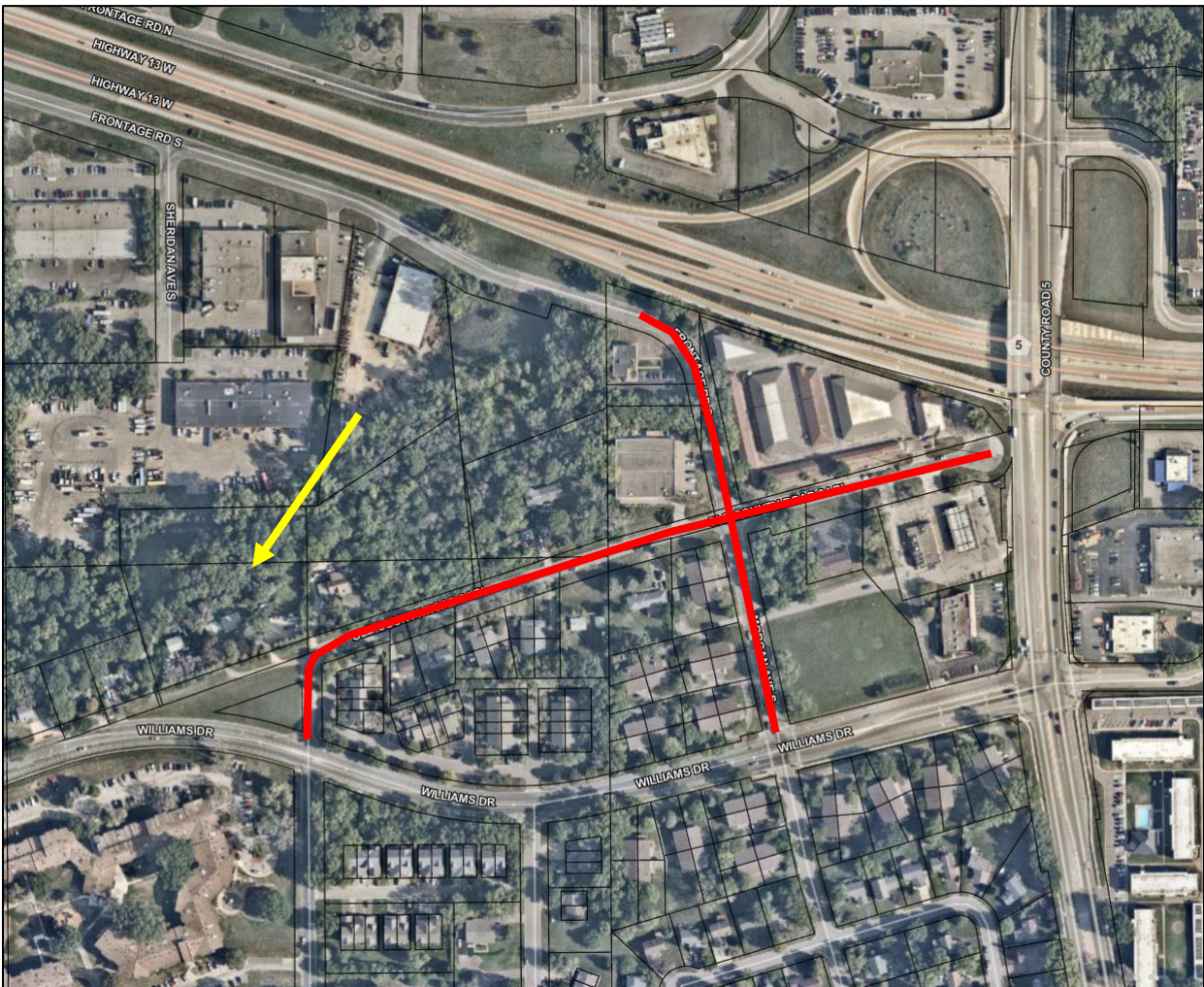
www.nagellmn.com



PROJECT MAP



AERIAL VIEW OF PROJECT MAP



The red line reflects the indicated project area. The yellow arrow indicates the subject parcel.

SUBJECT PHOTOGRAPHS



Street view



Street view



Street view



Street view

DEFINITIONS

MARKET VALUE - The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

(A) buyer and seller are typically motivated;

(B) both parties are well informed or well advised, and acting in what they consider their own best interests;

(C) a reasonable time is allowed for exposure in the open market;

(D) payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and

(E) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

Source: Dictionary of Real Estate Appraisal, Seventh Edition, Appraisal Institute

EXTRAORDINARY ASSUMPTIONS & HYPOTHETICAL CONDITIONS

As stated by USPAP;

Extraordinary Assumption: An assumption, directly related to a specific assignment, which, if found to be false, could alter the appraiser's opinions or conclusions.

None

Hypothetical Condition: That which is contrary to what exists but is supposed for the purpose of analysis.

The provided conclusions assume the project is completed on the same day as the effective date.

The above noted assumptions might have affected the assignment results.

CERTIFICATION

I certify that, to the best of my knowledge and belief:

- 1) The statements of fact contained in this report are true and correct.
- 2) The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analysis, opinions, and conclusions.
- 3) I have no present or prospective interest in the property that is the subject of this report, and no personal interest with respect to the parties involved.
- 4) I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- 5) My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- 6) My compensation for completing this assignment is not contingent upon the development or reporting of predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- 7) My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
- 8) The reported analyses, opinions and conclusions were developed, and this report has been prepared in conformity with the requirements of the Appraisal Institute's Code of Professional Ethics and Standards of Professional Appraisal Practice, which includes the Uniform Standards of Appraisal Practice.
- 9) **William R. Waytas** has made a personal inspection of the streets that are in the project area, as well as viewing surrounding properties. Ethan Waytas, MAI did not personally inspect the project area. Ethan Waytas wrote, analyzed, and selected all the data in the report. William R. Waytas read the report, concurred with the findings, and then co-signed the report.
- 10) No one provided significant professional assistance to the person signing this report.
- 11) In accordance with the competency provision USPAP, I have verified that my knowledge, experience and education are sufficient to allow me to competently complete this appraisal. See attached qualifications.
- 12) As of the date of this report, William R. Waytas and Ethan Waytas have completed the requirements of the continuing education program of the appraisal institute.
- 13) The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representative.
- 14) We **have not** provided services as an appraiser, regarding the subject property within the 3-year period immediately preceding acceptance to this assignment.


Ethan Waytas, MAI
Certified General MN 40368613
Date: see report


William R. Waytas
Certified General MN 4000813
Date: see report

QUALIFICATIONS

Appraisal Experience

Presently and since 2006, **Ethan Waytas, MAI** has been employed as an employee of Nagell Appraisal Incorporated, an independent appraisal firm (11 employees) who annually prepare 1,500 +/- appraisal reports of all types. He is currently a full time licensed certified general real estate appraiser, partner, and director of the company's IT department.

Properties appraised:

- **Commercial** - low and high-density multi-family, retail, office, industrial, restaurant, church, strip-mall, fast-food, convenience stores, auto-service and repair, cinema, numerous special use properties, golf courses, and subdivision analysis.
- **Residential** – single-family residences, hobby farms, lakeshore, condominiums, townhouses, REO and land.
- **Eminent Domain** – extensive partial and total acquisition appraisal services provided to numerous governmental agencies and private owners.
- **Special Assessment** – numerous street improvement and utilities projects for both governmental and private owners.
- **Clients** - served include banks, savings and loan associations, trust companies, corporations, governmental bodies, relocation companies, attorneys, REO companies, accountants and private individuals.
- **Area of Service** - most appraisal experience is in the greater Twin Cities Metro Area (typically an hour from downtown metro). Numerous assignments throughout Minnesota.

Testimony

- Court, commission, mediation testimony, etc. has been given

Professional Membership, Associations & Affiliations

License: Certified General Real Property Appraiser, MN License #40368613

Holds the MAI designation from the Appraisal Institute

Education

- Graduate of the University of Minnesota: College of Science and Engineering, Twin Cities Campus
Bachelor of Science in Computer Science, with distinction, 3.86 GPA.
- **General & Professional Practice Courses & Seminars**
- Basic Appraisal Procedures
- Basic Appraisal Principles
- 2012-2013 15-Hour National Uniform Standards of Professional Appraisal Practice
- General Appraiser Sales Comparison Approach
- General Appraiser Income Approach – Part 1
- General Appraiser Income Approach – Part 2
- Advanced Income Capitalization
- General Appraiser Report Writing and Case Studies
- Real Estate Finance, Statistics and Valuation Modeling
- 2014-2015 7-hour National USPAP Update Course
- General Appraiser Site Valuation & Cost Approach
- Advanced Market Analysis and Highest & Best Use
- Advanced Concepts & Case Studies
- Quantitative Analysis

Curriculum Vitae -- continued

Appraisal Experience

Presently and since 1985, **William R. Waytas** has been employed as a full time real estate appraiser. Currently a partner and President of the Nagell Appraisal & Consulting, an independent appraisal firm (11 employees) who annually prepare 1,500 +/- appraisal reports of all types. Mr. Waytas was employed with Iver C. Johnson & Company, Ltd., Phoenix, AZ from 1985 to 1987.

Properties appraised:

- **Commercial** - low and high-density multi-family, retail, office, industrial, restaurant, church, strip-mall, fast-food, convenience stores, auto-service and repair, hotel, hotel water park, bed & breakfast, cinema, marina, numerous special use properties, and subdivision analysis.
- **Residential** – single-family residences, hobby farms, lakeshore, condominiums, townhouses, REO and land.
- **Eminent Domain** – extensive partial and total acquisition appraisal services provided to numerous governmental agencies and private owners.
- **Special Assessment** – numerous street improvement and utilities projects for both governmental and private owners.
- **Review** – residential, commercial and land development.
- **Clients** - served include banks, savings and loan associations, trust companies, corporations, governmental bodies, relocation companies, attorneys, REO companies, accountants and private individuals.
- **Area of Service** - most appraisal experience is in the greater Twin Cities Metro Area (typically an hour from downtown metro). Numerous assignments throughout Minnesota.

Professional Membership, Associations & Affiliations

License: Certified General Real Property Appraiser, MN License #4000813.
Appraisal Institute: SRA, Senior Residential Appraiser Designation,
General Associate Member
Employee Relocation Council: CRP Certified Relocation Professional Designation.
International Right-Of-Way Association: Member
HUD/FHA: On Lender Selection Roster and Review Appraiser
DNR: Approved appraiser for Department of Natural Resources

Testimony

-- Court, deposition, commission, arbitration & administrative testimony given.

Mediator

-- Court appointed in Wright County.

Committees

-- President of Metro/Minnesota Chapter, 2002, Appraisal Institute.
-- Chairman of Residential Admissions, Metro/MN Chapter, AI.
-- Chairman Residential Candidate Guidance, Metro/Minnesota Chapter, AI.
-- Elm Creek Watershed Commission, Medina representative 3 years.
-- Medina Park Commission, 3 years.

Curriculum Vitae -- continued

Education

- Graduate of Bemidji State University, Minnesota. B.S. degree in Bus. Ad.
- During college, summer employment in building trades (residential and commercial).
- Graduate of Cecil Lawter Real Estate School. Past Arizona Real Estate License.
- **General & Professional Practice Courses & Seminars**
- Course 101-Introduction to Appraising Real Property.
- Numerous Standards of Professional Practice Seminar.
- Fair Lending Seminar.
- Eminent Domain & Condemnation Appraising.
- Eminent Domain (An In-Depth Analysis)
- Property Tax Appeal
- Eminent Domain
- Business Practices and Ethics
- Scope of Work
- Construction Disturbances and Temporary Loss of Going Concern
- Uniform Standards for Federal Land Acquisitions (Yellow Book Seminar)
- Partial Interest Valuation Divided (conservation easements, historic preservation easements, life estates, subsurface rights, access easements, air rights, water rights, transferable development rights)
- **Commercial/Industrial/Subdivision Courses & Seminars**
- Capitalization Theory & Techniques
- Highest & Best Use Seminar
- General & Residential State Certification Review Seminar
- Subdivision Analysis Seminar.
- Narrative Report Writing Seminar (general)
- Advanced Income Capitalization Seminar
- Advanced Industrial Valuation
- Appraisal of Local Retail Properties
- Appraising Convenience Stores
- Analyzing Distressed Real Estate
- Evaluating Commercial Construction
- Fundamentals of Separating Real Property, Personal Property and Intangible Business Assets
- **Residential Courses & Seminars**
- Course 102-Applied Residential Appraising
- Narrative Report Writing Seminar (residential)
- HUD Training session local office for FHA appraisals
- Familiar with HUD Handbook 4150.1 REV-1 & other material from local FHA office.
- Appraiser/Underwriter FHA Training
- Residential Property Construction and Inspection
- Numerous other continuing education seminars for state licensing & AI

Speaking Engagements

- Bankers
- Auditors
- Assessors
- Relocation (Panel Discussion)

Publications

- Real Estate Appraisal Practice (book): Acknowledgement
- Articles for Finance & Commerce and Minnesota Real Estate Journal